

**BUILDING PERMIT**

Building Act 1993 Building Regulations 2018  
 PERMIT NUMBER: 2103445468764 DATE ISSUED: 07/06/2023

ARKI BUILDING SURVEYORS PTY LTD

**INSPECTION BOOKING**

EMAIL  
 inspections@arkibs.com.au  
 TEL: 9687 0333  
 MIN. 24 HOURS NOTICE REQUIRED

Artificial lighting must comply with Part 3.12.5.5 of the National Construction Code (NCC 2019 BCA Vol 2)

All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein. Unless otherwise specified the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2. All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

Figured dimensions take precedence over scaled dimensions.

The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification. Installation of all services shall comply with the respective supply authority requirements.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.

The Builder and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Caddick Designs except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Caddick Designs.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.

These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract.

Site plan measurements in metres – all other measurements in millimeters unless noted otherwise.

Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with: – BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and – BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.

NO BUILDER IS TO ENSURE THAT THE SITING OF THE BUILDING COMPLIES WITH THE APPROVED PLANS.

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740–2010: Waterproofing of Domestic Wet Areas.

These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

Step sizes to be: – Risers (R) 190mm maximum and 115mm minimum – Going (G) 355mm maximum and 240mm minimum – 2R + 1G = 700mm maximum and 550mm minimum – with less than 125mm gap between open treads. All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.

Balustrades. Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be: – 1000mm min. above finished surface level of balconies, landings or the like, and – 865mm min. above finished surface level of stair nosing or ramp, and – vertical with less than 125mm gap between, and – any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads. Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings. Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around. Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.

Concrete stumps: – up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire) – 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires) – 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires) – 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.

All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.

STORMWATER [Insert stormwater size] mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall be not less than – 100mm under soil – 50mm under paved or concrete areas – 100mm under unreinforced concrete or paved driveways – 75mm under reinforced concrete driveways

## SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method) Reference document 'AS 3959–2018

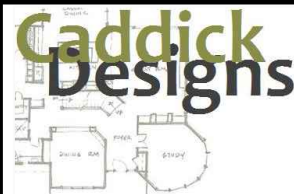
Determination of Bushfire Attack Level (12.5)

Site Classification Site classification as Class: [TBC]

– Refer to soil report No: [Insert soil report number] By: [Insert Soil Engineer] TBC

## DO NOT SCALE FROM DRAWINGS.

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Tel – 03 5428 1853  
 Level 1 Office 2 –  
 50 Aitken Street Gisborne VIC 3437  
 Email – info@caddickdesigns.com.au  
 BPB REG NO. DP-AD 2095

Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale – NTS  
 Date – 18/7/2022  
 Amnd – 24/3/2023  
 Areas –

Project No. 1976B  
 Sheet No. 0 of 25

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**BUILDING PERMIT**

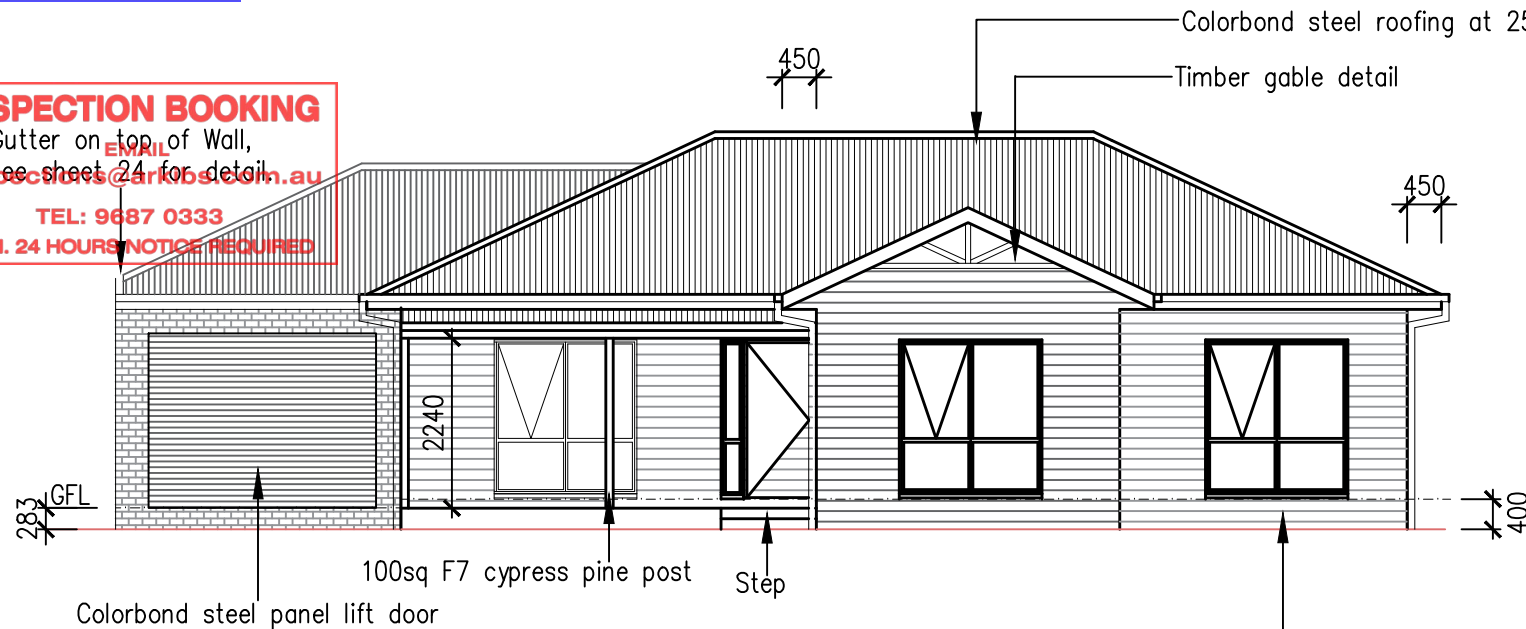
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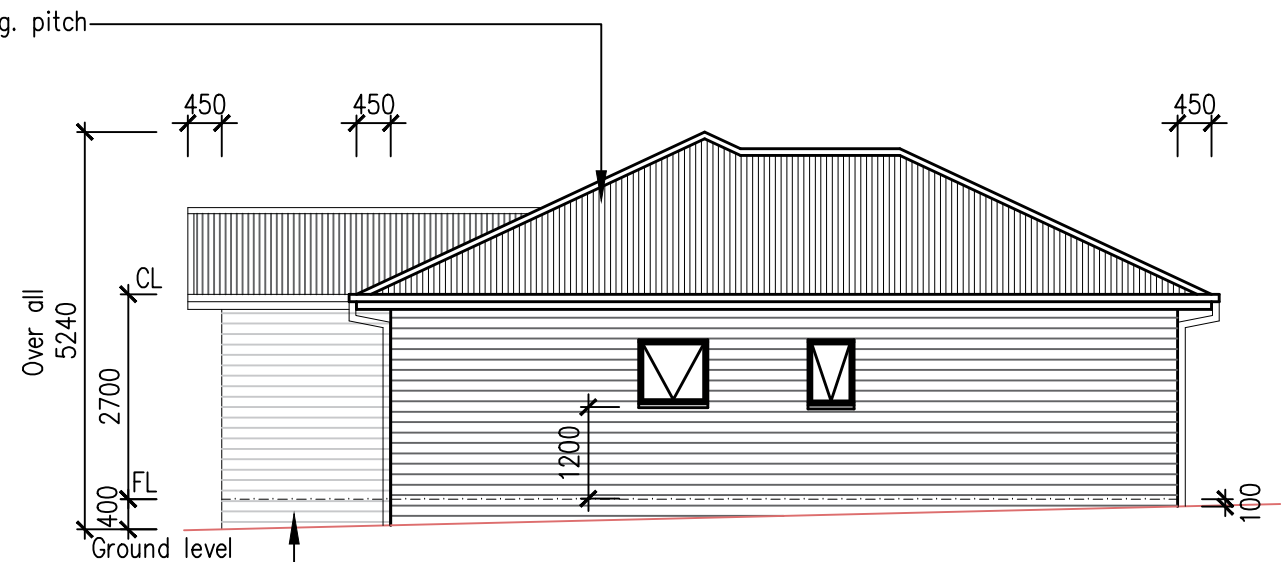
**INSPECTION BOOKING**

Gutter on top of Wall, see sheet 24 for detail.  
 EMAIL: [inspect@arkibuild.com.au](mailto:inspect@arkibuild.com.au)

TEL: 9687 0333  
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**South East Elevation**



**North East Elevation**

**Unit 1**

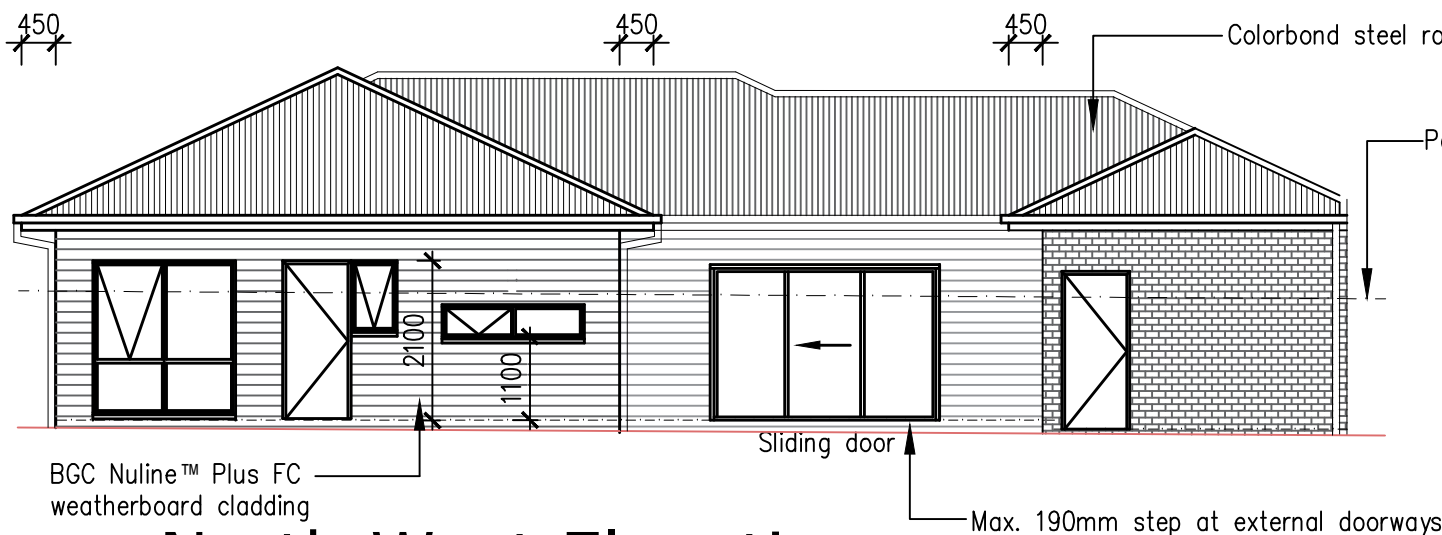


**MATERIALS & COLOUR SCHEDULE:**

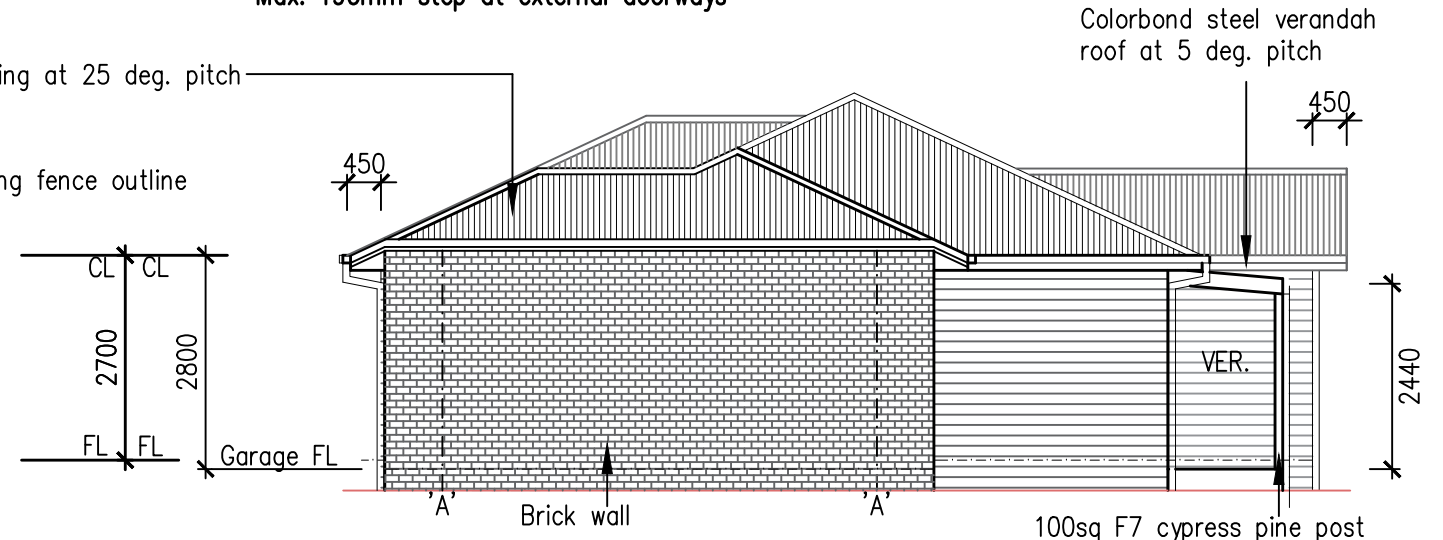
- ROOFING – Colorbond steel, colour 'BASALT'
- GUTTERS – Colorbond steel, colour 'BASALT'
- WALLS – Face brickwork, colour 'Red blend'  
 – BGC Nuline™ Plus FC Weatherboard, colour Dulux 'Casper White Quarter'
- FASCIA – Colorbond steel, colour 'BASALT'
- WINDOWS – Aluminium frames, colour Dulux 'White'

**Note:**

Max. 190mm step at external doorways

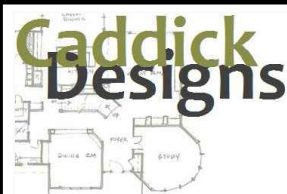


**North West Elevation**



**South West Elevation**

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Proposed Unit Development  
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 Date - 14/10/2021  
 Amnd - 18/7/2022  
 Amnd - 24/3/2023  
 Areas -

Project No. 1976B  
 Sheet No. 3 of 25

# Window & Door Schedule

No	Window Size & Style	Lintel Size
W2	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W3	450H x 1500 Alum. awning window	140 x 45 F17 HW
W4	900H x 900 Alum. awning window	90 x 35 F17 HW
W5	900H x 600 Alum. awning window	90 x 35 F17 HW
W6	1050H x 600 Alum. awning window	90 x 35 F17 HW
W7	2100H x 500 Fixed timber sidelight	90 x 35 F17 HW
EMAIL		
D1	2040H x 820 timber swing door	90 x 35 F17 HW
D2	2100H x 3000 Alum. sliding door	240 x 35 F17 HW
D3	2040H x 920 timber sliding door	90 x 35 F17 HW
D4	2040H x 820 timber cavity sliding door	90 x 35 F17 HW
D6	2040H x 670 timber cavity sliding door	90 x 35 F17 HW
D7	2300H x 3000 Colorbond panel lift door	See engineers design

## Electrical Legend

- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ⊗ Ceiling mounted light 14 watt & exhaust fan unit
- ⊙ Ceiling recessed 9 watt LED spotlight light
- ⊔ 36 watt ceiling mounted flourescent light
- ⊞ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- ⊞ Undermount style kitchen sink
- ⊞ Above bench vanity basin

## Light Wattage

- Class 1 Extension – 348 watts, 2.18 watts/sq.m
- Class 1 building allowance is 5 watts/sqm.
- Verandah areas – 28 watts, 3.41 watts/sq.m
- Verandah/Balcony allowance is 4 watts/sqm.
- Garage area – 54 watts, 1.90 watts/sq.m
- Garage (class 10) allowance is 3 watts/sqm.

**Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

**D.P.** 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.

**'A'** Articulated brick control joints to comply with CCAA technical note – TN 61.

**[MH]** Man hole Min 600 x 600mm.

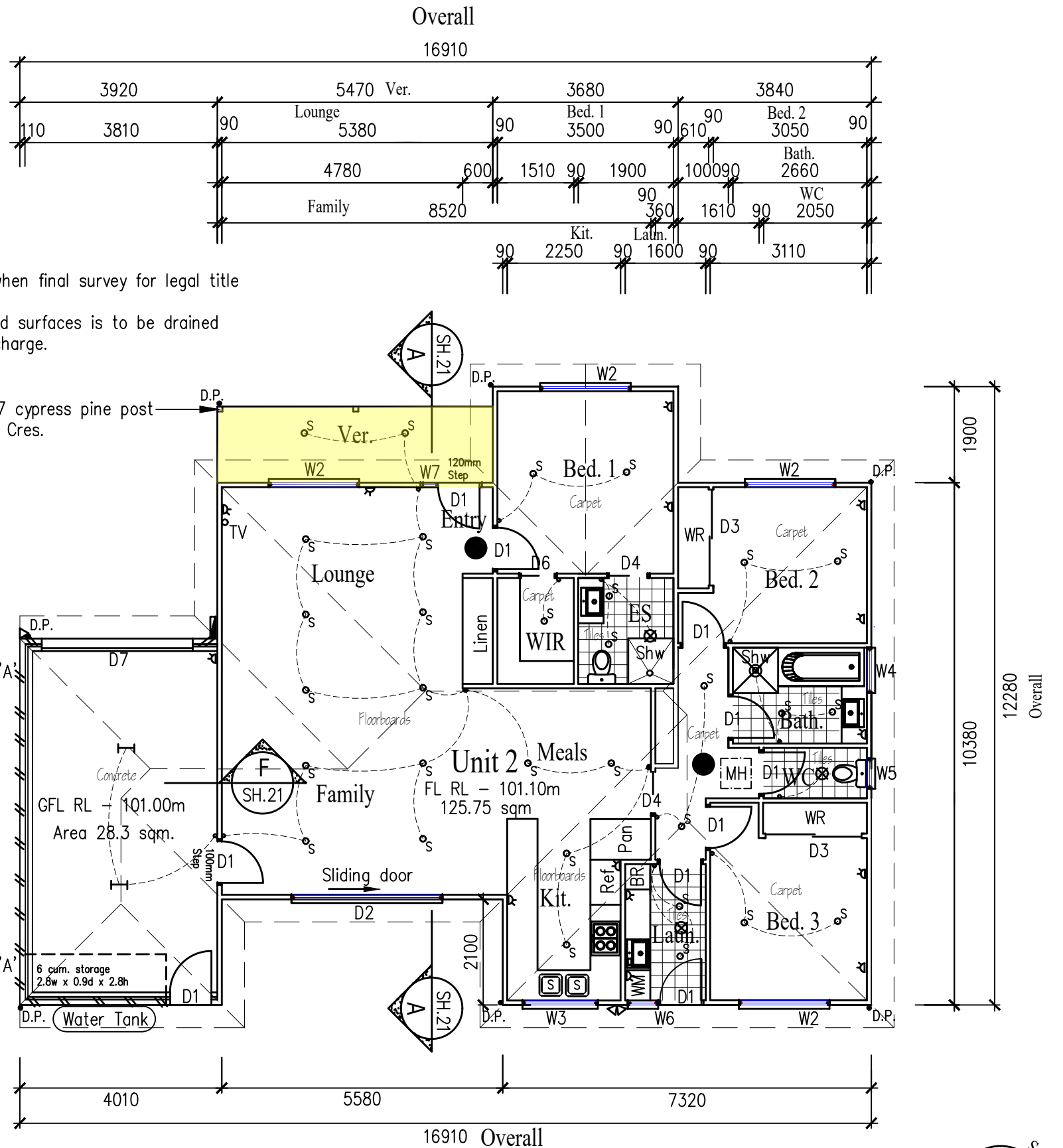
**Note:**  
Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

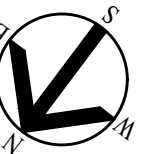
Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586

**NOTE:**  
Actual dimensions shown may change when final survey for legal title is done.

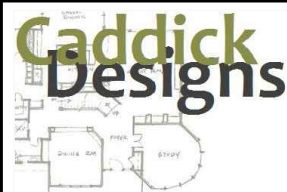
All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.



# Floor Plan - Unit 2



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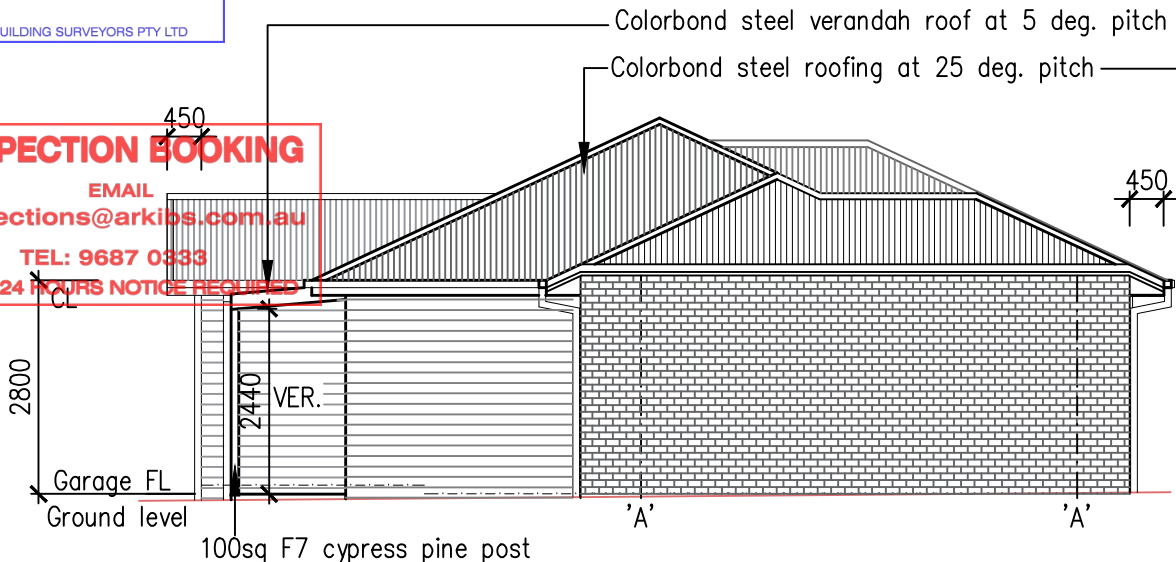
Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale - 1: 100  
Date - 14/10/2021  
Amnd - 18/7/2022  
Amnd - 24/3/2023  
Areas -

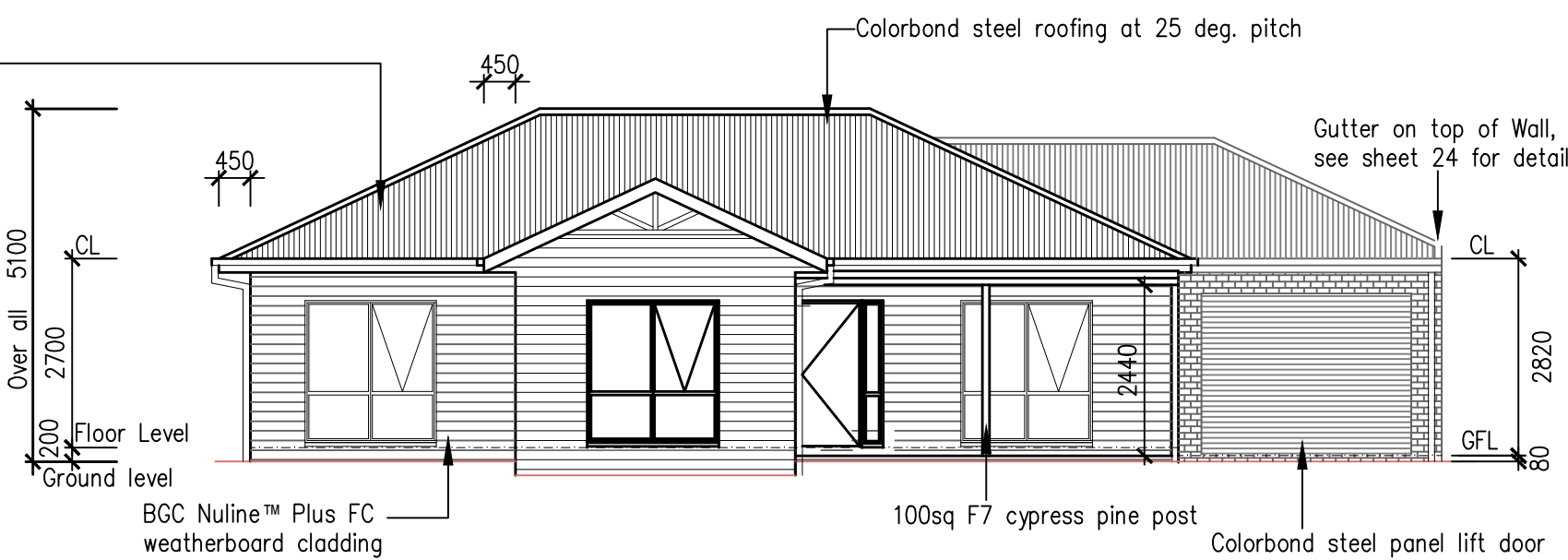
Project No. 1976B  
Sheet No. 4 of 25



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**North East Elevation**

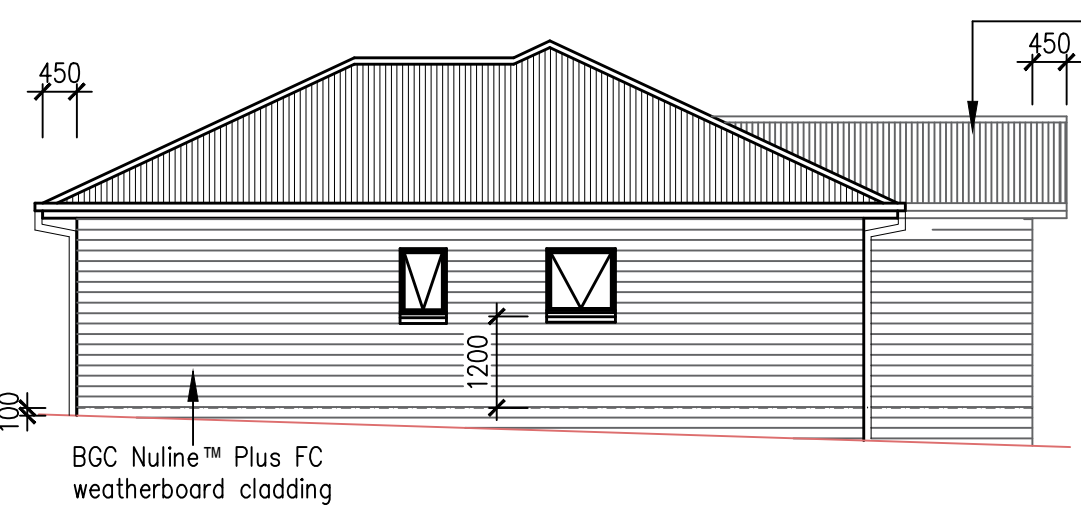


**South East Elevation**

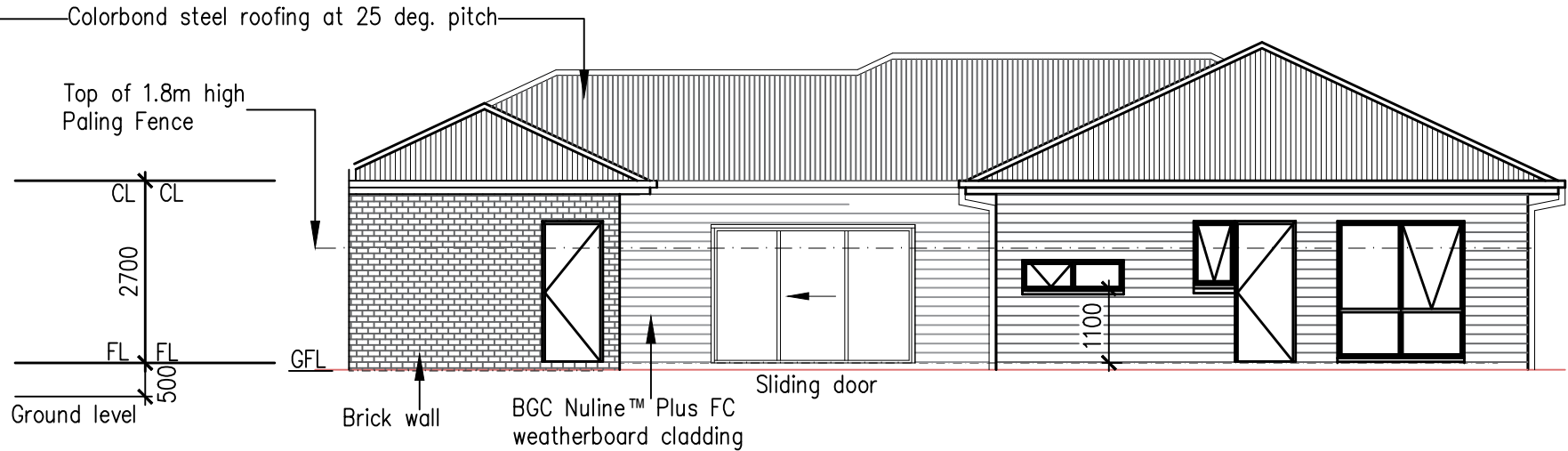
**Unit 2**



**MATERIALS & COLOUR SCHEDULE:**  
 ROOFING – Colorbond steel, colour 'BASALT'  
 GUTTERS – Colorbond steel, colour 'BASALT'  
 WALLS – Face brickwork, colour 'Red blend'  
 – BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'  
 FASCIA – Colorbond steel, colour 'BASALT'  
 WINDOWS – Aluminium frames, colour Dulux 'White'  
**Note:**  
 Max. 190mm step at external doorways

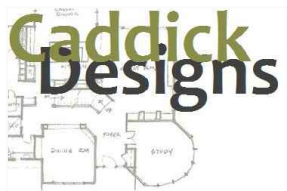


**South West Elevation**



**North West Elevation**

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 Email – info@caddickdesigns.com.au  
 BPB REG NO. DP-AD 2095

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 for Mr T. Culina.

Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 24/3/2023  
 Areas –

Project No. 1976B  
 Sheet No. 5 of 25

**BUILDING PERMIT**  
 No. 21N45468764 07/06/2023

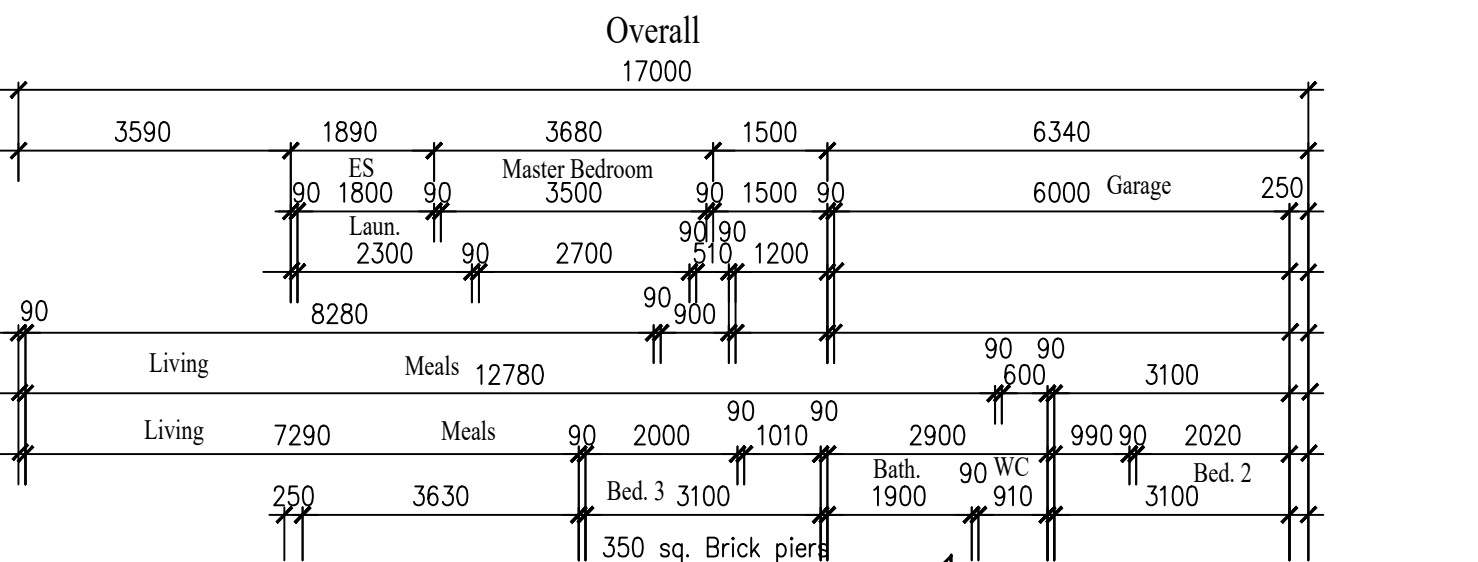
No.	Window Size & Style	Lintel Size
W1	2100H x 1200 Alum. awning window	140 x 45 F17 HW
W2	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W3	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W4	900H x 900 Alum. awning window	90 x 35 F17 HW
W5	900H x 600 Alum. awning window	90 x 35 F17 HW
W7	2100H x 300 Timber fixed sidelight	140 x 45 F17 HW
D1	2040H x 820 timber swing door	90 x 35 F17 HW
D2	2/2040H x 650 timber sliding door	90 x 35 F17 HW
D3	2/2040H x 1020 timber sliding door	90 x 35 F17 HW
D4	2040H x 820 timber cavity sliding door	90 x 35 F17 HW
D5	2040H x 720 timber cavity sliding door	90 x 35 F17 HW
D6	2100H x 2100 Alum. sliding door	190 x 45 F17 HW
D7	2300H x 5000 Colorbond panel lift door	See engineers design

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 Tel: 08 9440 0385  
 M/F: 24 HR / 7 DAYS SERVICE 1820 JIFIT

**Note:**  
 Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586



**Electrical Legend**

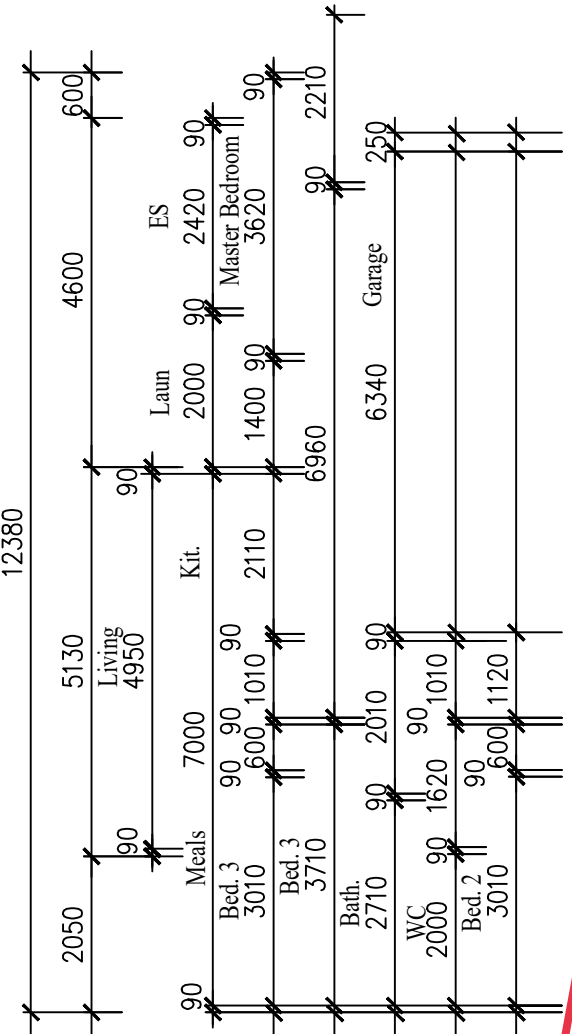
- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ⊗ Ceiling mounted light 14 watt & exhaust fan unit
- ⊙ Ceiling recessed 9 watt LED spotlight light
- ⊏ 36 watt ceiling mounted flourescent light
- Ⓜ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- Ⓢ Undermount style kitchen sink
- Ⓜ Above bench vanity basin

**Light Wattage**

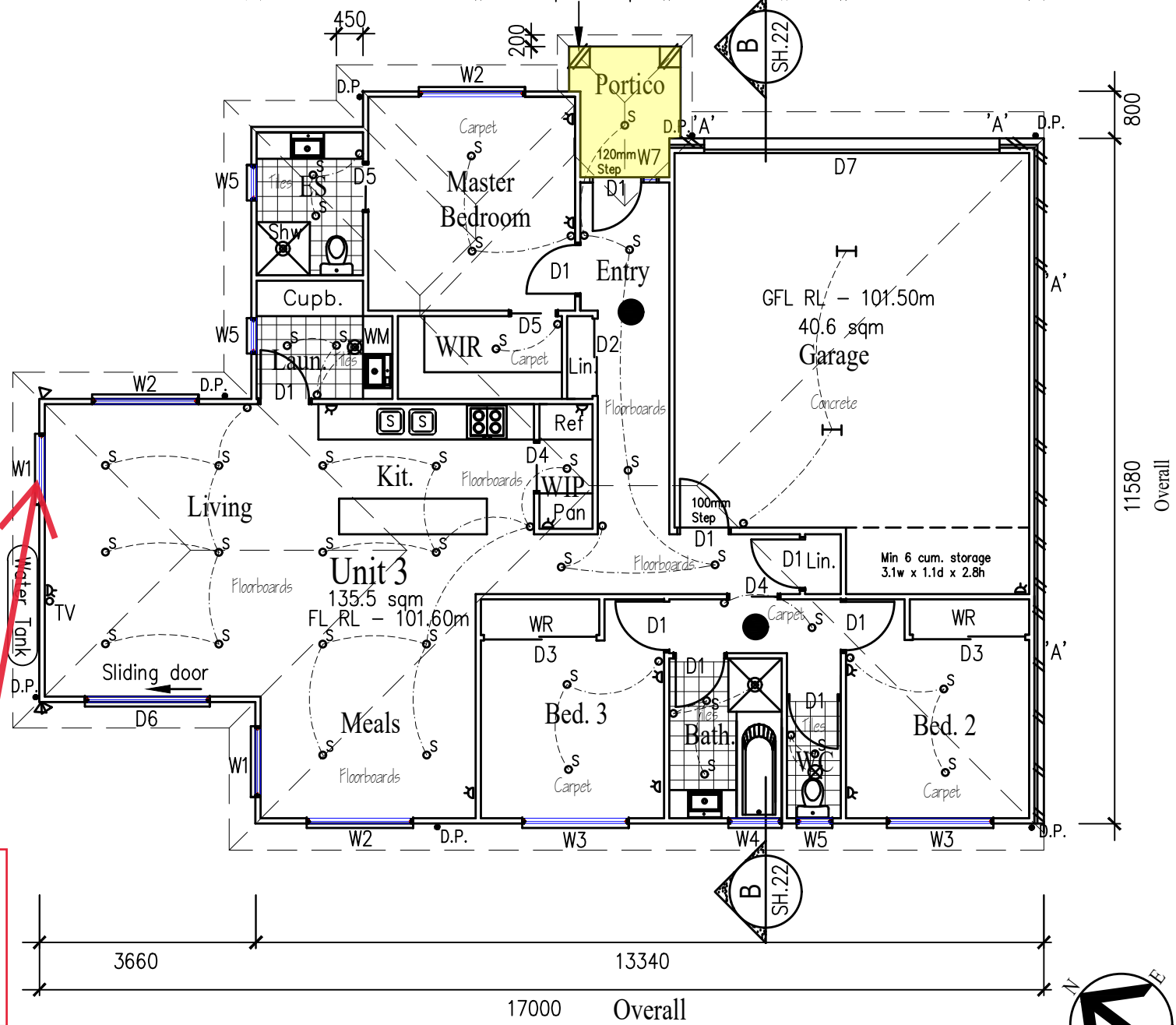
- Class 1 Extension – 200 watts, 1.5 watts/sq.m
- Class 1 building allowance is 5 watts/sqm.
- Verandah areas – 28 watts, 3.41 watts/sq.m
- Verandah/Balcony allowance is 4 watts/sqm.
- Garage area – 36 watts, 1.2 watts/sq.m
- Garage (class 10) allowance is 3 watts/sqm.

- Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.
- D.P.** 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.
- 'A'** Articulated brick control joints to comply with CCAA technical note – TN 61.
- MH** Man hole Min 600 x 600mm.

**NOTE:**  
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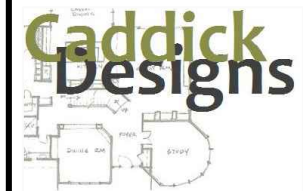


Window on the north west elevation units 3,4 & 6 within 1.8m of an adjacent dwelling are required to be at least 4mm double glazed and toughened glass and shall be an awning window with an opening of no more than 125mm- as per fire report



**Floor Plan - Unit 3**

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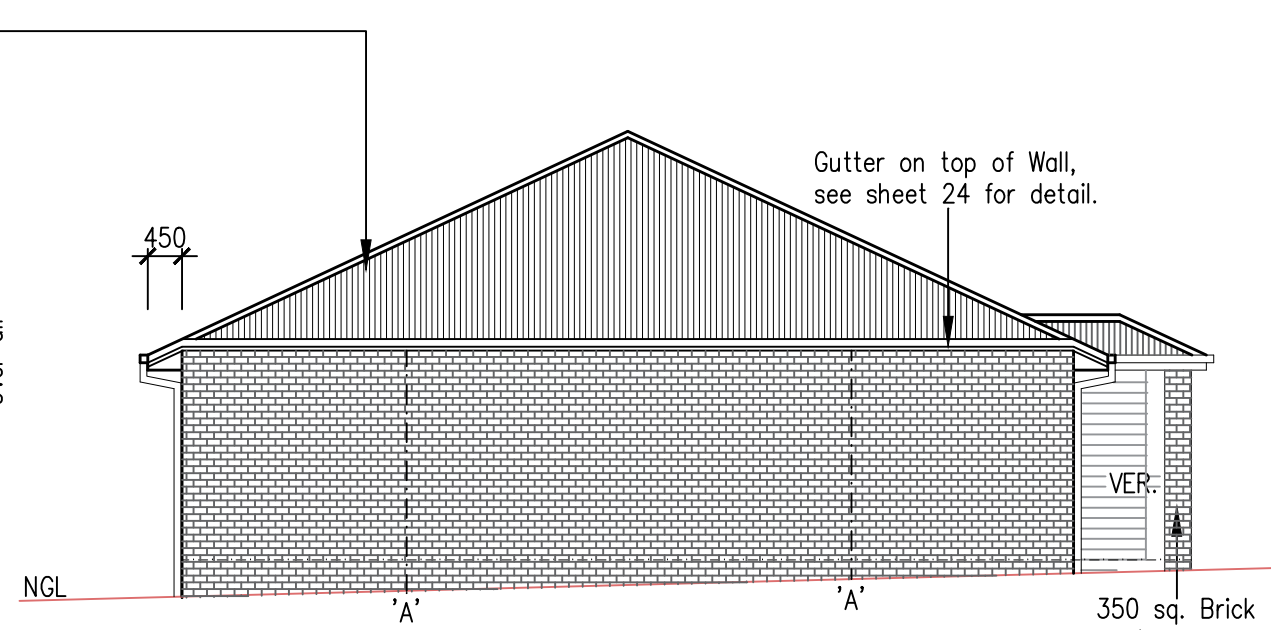
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 Date - 4/10/2021  
 Amnd - 18/7/2022  
 Amnd - 24/3/2023  
 Areas -

Project No. 1976B  
 Sheet No. 6 of 25

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**South West Elevation**



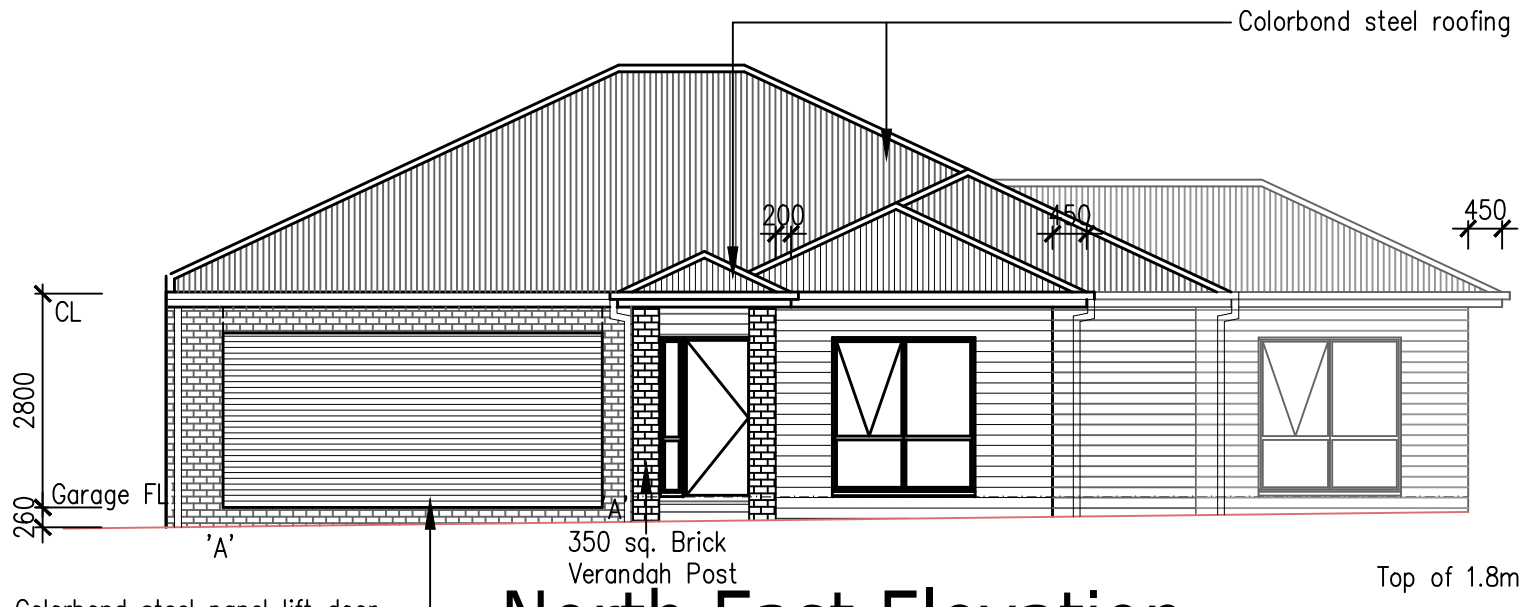
**South East Elevation**

Unit 3

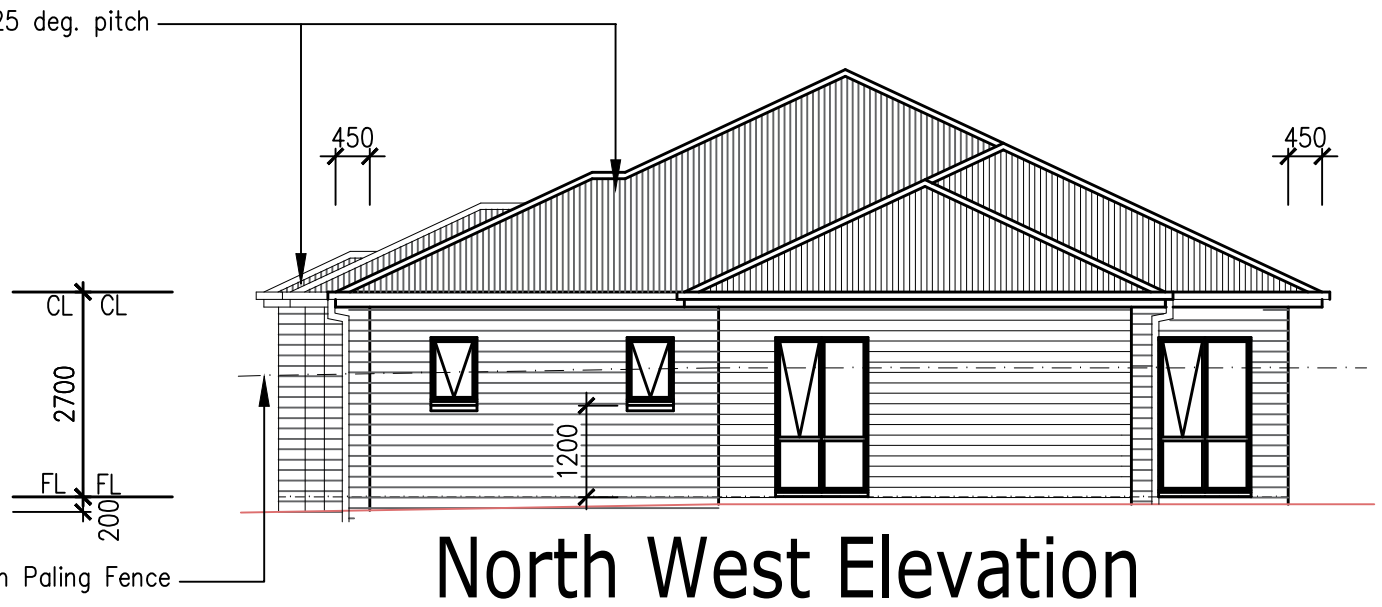


**MATERIALS & COLOUR SCHEDULE:**  
 ROOFING – Colorbond steel, colour 'BASALT'  
 GUTTERS – Colorbond steel, colour 'BASALT'  
 WALLS – Face brickwork, colour 'Red blend'  
           – BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'  
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 WINDOWS – Aluminium frames, colour Dulux 'White'

**Note:**  
 Max. 190mm step at external doorways

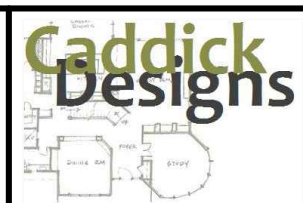


**North East Elevation**



**North West Elevation**

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 Amnd – 24/3/2023  
 Areas –

Project No. 1976B  
 Sheet No. 7 of 25



Window & Door Schedule		
No	Window Size & Style	Lintel Size
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W3	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W4	1050H x 1800 Alum. awning window	140 x 45 F17 HW
W5	900H x 600 Alum. awning window	90 x 35 F17 HW
W6	2100H x 300 Alum. awning window	90 x 35 F17 HW
EMAIL		
D1	2040H x 820 timber swing door	90 x 35 F17 HW
D2	2100H x 3000 Alum. sliding door	240 x 45 F17 HW
D3	2/2040H x 1050 timber sliding door	90 x 35 F17 HW
D4	2040H x 820 timber cavity sliding door	90 x 35 F17 HW
D5	2040H x 720 timber cavity sliding door	90 x 35 F17 HW
D7	2300H x 3000 Colorbond panel lift door	See engineers design
D8	2/2040H x 920 timber sliding door	90 x 35 F17 HW

- ### Electrical Legend
- ⚡ Double power outlet
  - ⚡ 150 watt external flood light
  - ⚡ Wall mounted light
  - ⚡ Ceiling mounted light 14 watt, heater & exhaust fan unit
  - ⚡ Ceiling recessed 9 watt LED spotlight light
  - ⚡ 36 watt ceiling mounted flourescent light
  - ⚡ Meter Box
  - ⚡ Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
  - ⚡ Undermount style kitchen sink
  - ⚡ Above bench vanity basin
- ### Light Wattage
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 Class 1 building allowance is 5 watts/sq.m  
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 Verandah/Balcony allowance is 4 watts/sq.m  
 Garage area – 54 watts, 1.90 watts/sq.m  
 Garage (class 10) allowance is 3 watts/sq.m

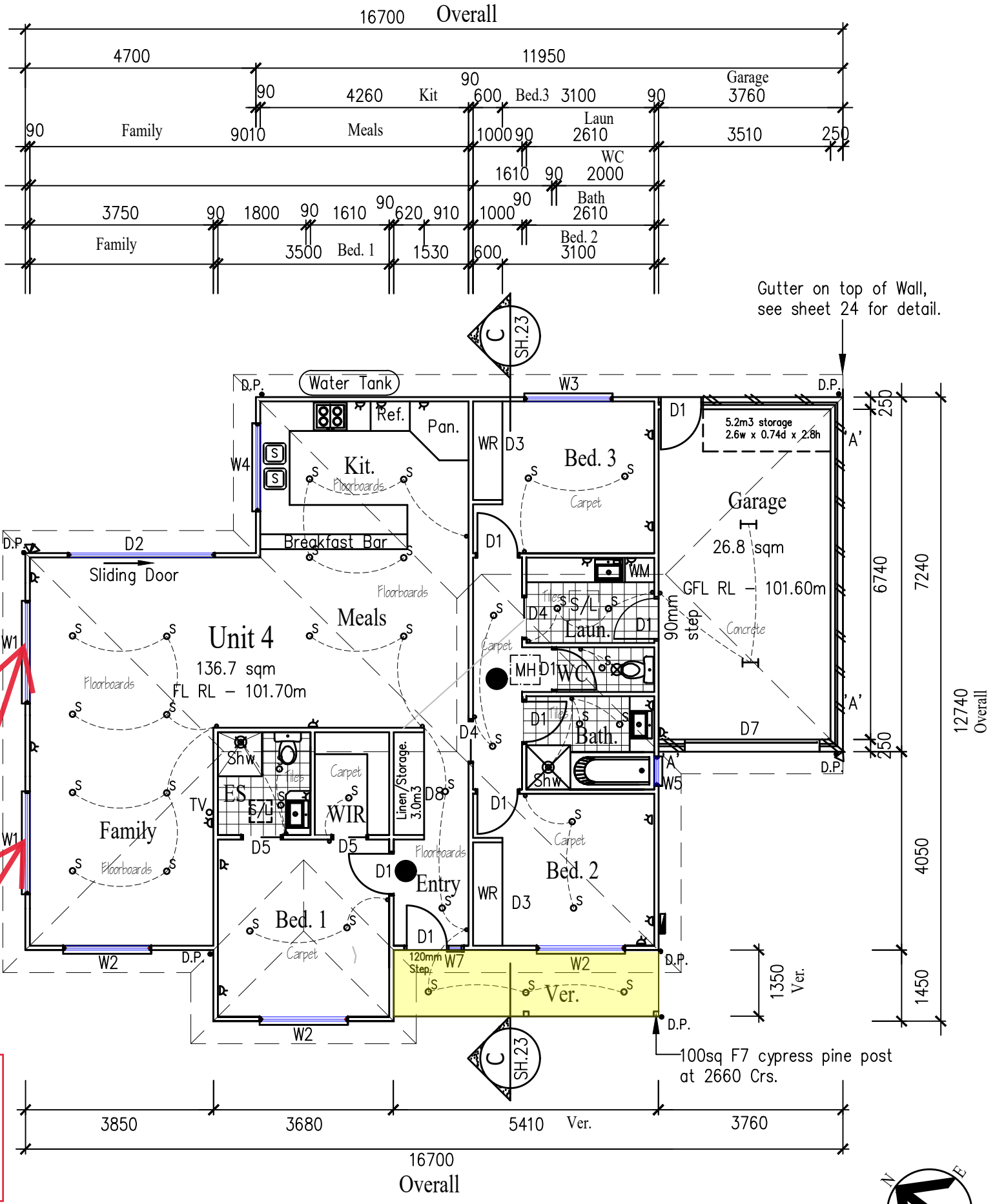
- Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.
- D.P.** 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.
- 'A'** Articulated brick control joints to comply with CCAA technical note – TN 61.
- MH** Man hole Min 600 x 600mm.

**NOTE:**  
 Actual dimensions shown may change when final survey for legal title is done.  
 All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.

**Note:**  
 Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586



**Floor Plan - Unit 4**

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 Email - info@caddickdesigns.com.au  
 BPB REG NO. DP-AD 2095

Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale - 1: 100  
 Date - 18/10/2021  
 Amnd - 18/7/2022  
 Amnd - 24/3/2023  
 Areas -

Project No. 1976B  
 Sheet No. 8 of 25

**BUILDING PERMIT**

Building Act 1993 Building Regulations 2018  
PERMIT NUMBER: 2103445468764 DATE ISSUED: 07/06/2023

ARKI BUILDING SURVEYORS PTY LTD

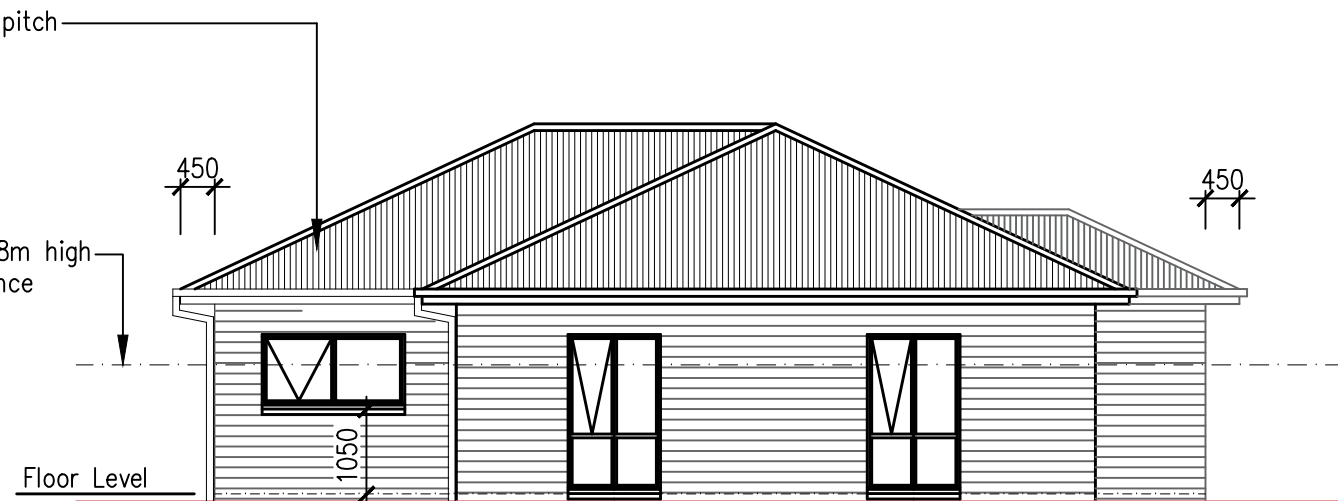
**INSPECTION BOOKING**

EMAIL: [inspections@arkibs.com.au](mailto:inspections@arkibs.com.au)  
TEL: 9687 7833  
MIN. 24 HOURS NOTICE REQUIRED



South West Elevation

100sq F7 cypress pine post Colorbond steel panel lift door



North West Elevation

Unit 4

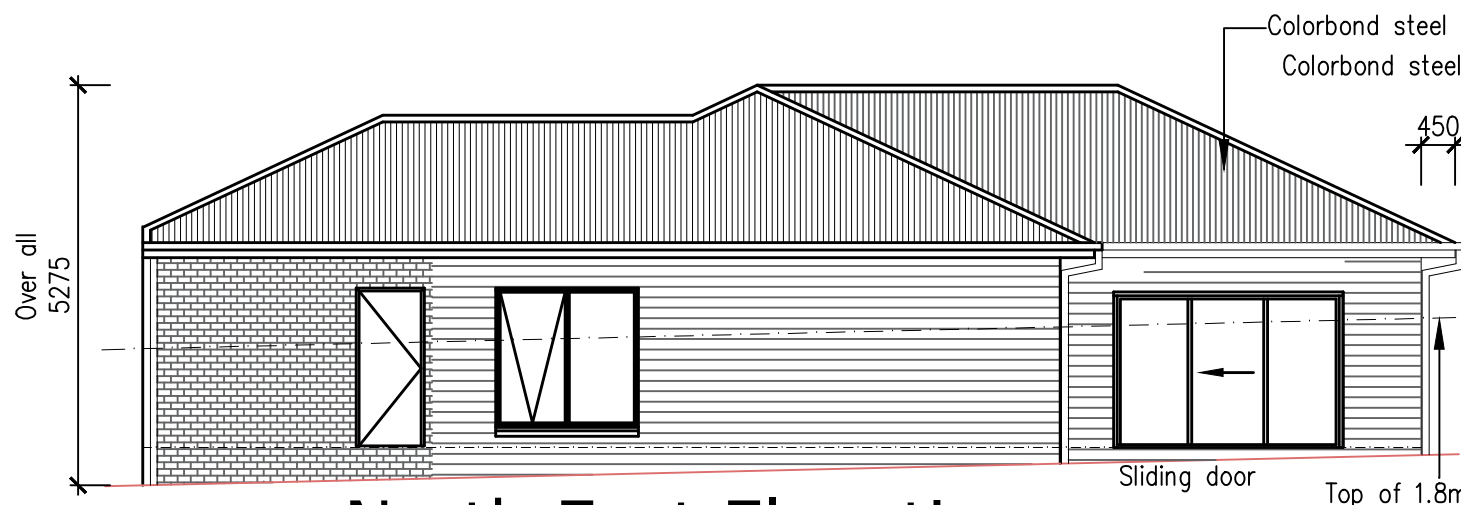


MATERIALS & COLOUR SCHEDULE:

- ROOFING – Colorbond steel, colour 'BASALT'
- GUTTERS – Colorbond steel, colour 'BASALT'
- WALLS – Face brickwork, colour 'Red blend'
- BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'
- FASCIA – Colorbond steel, colour 'BASALT'
- WINDOWS – Aluminium frames, colour Dulux 'White'

Note:

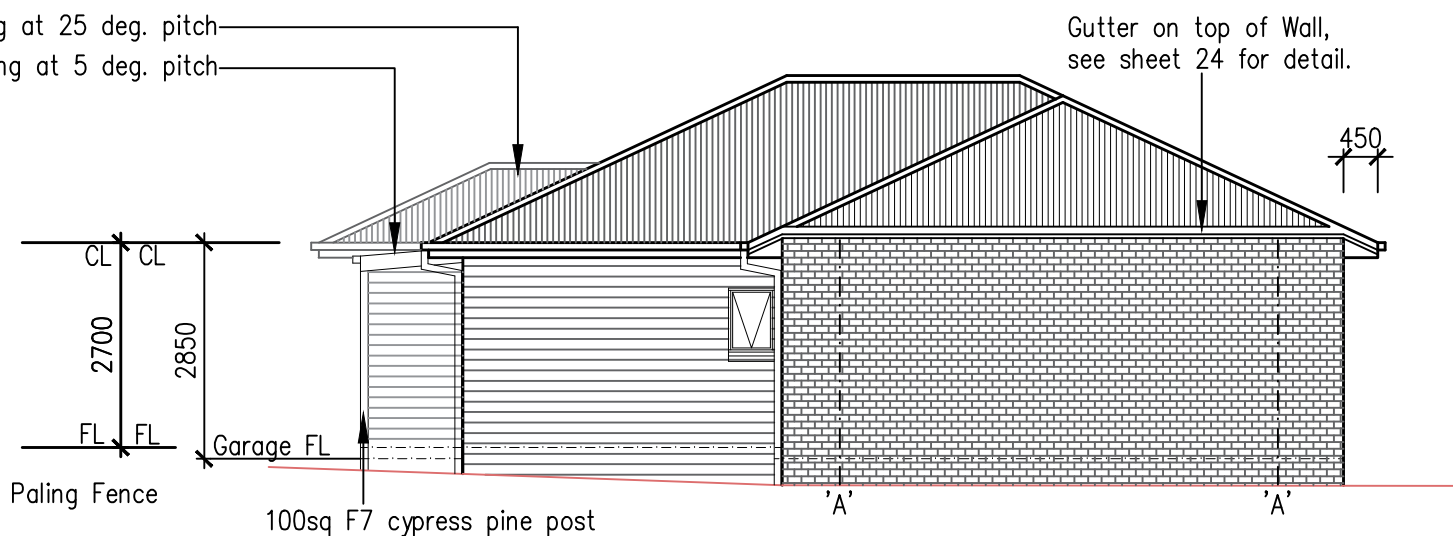
Max. 190mm step at external doorways



North East Elevation

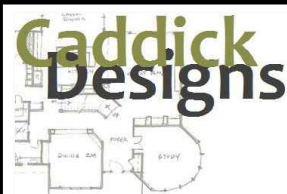
Sliding door

Top of 1.8m high Paling Fence



South East Elevation

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BPB REG NO. DP-AD 2095

Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale – 1: 100  
Date – 18/10/2021  
Amnd – 18/7/2022  
Amnd – 24/3/2023  
Areas –

Project No. 1976B  
Sheet No. 9 of 25



# Window & Door Schedule

No	Window Size & Style	Lintel Size
W1	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W2	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W3	900H x 1200 Alum. awning window	140 x 45 F17 HW
W4	900H x 600 Alum. awning window	90 x 35 F17 HW
W5	1050H x 600 Alum. awning window	90 x 35 F17 HW
<b>INSPECTION BOOKING</b>		
D1	2040H x 820 timber swing door	
D2	2100H x 2100 Alum. sliding door	190 x 45 F17 HW
D3	2/2040H x 1200 timber sliding door	
D4	2040H x 820 timber cavity sliding door	
D5	2100H x 3000 Alum. sliding door	240 x 45 F17 HW
D6	2040H x 670 timber cavity sliding door	
D7	2300H x 3000 Colorbond panel lift door	See engineers design
D8	2/2040H x 820 timber sliding door	

## Electrical Legend

- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ⊗ Ceiling mounted light 14 watt & exhaust fan unit
- ⊙ Ceiling recessed 14 watt LED spotlight light
- ⊢ 36 watt ceiling mounted flourescent light
- ⊡ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- ⊡ Undermount style kitchen sink
- ⊡ Above bench vanity basin

## Light Wattage

Class 1 Extension – 316 watts, 2.17 watts/sq.m  
 Class 1 building allowance is 5 watts/sqm.  
 Verandah areas – 9 watts, 3.20 watts/sq.m  
 Verandah/Balcony allowance is 4 watts/sqm.  
 Garage area – 27 watts, 0.9 watts/sq.m  
 Garage (class 10) allowance is 3 watts/sqm.

⊡ Man hole Min 600 x 600mm.

Water Tank Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

D.P. 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.

'A' Articulated brick control joints to comply with CCAA technical note – TN 61.

## Note:

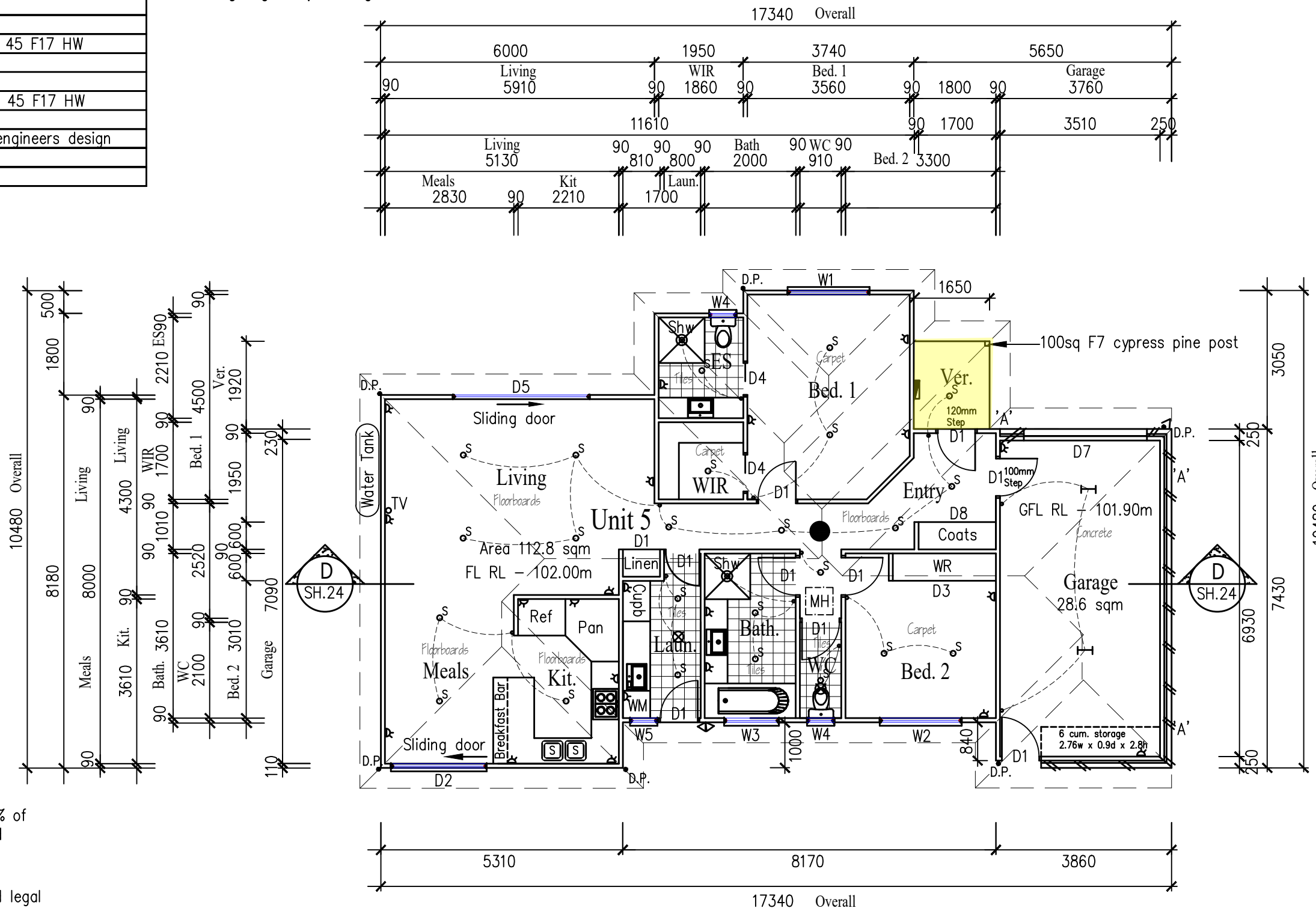
Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586

## NOTE:

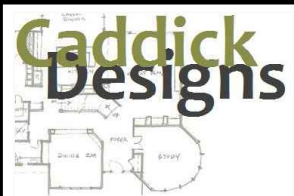
Actual dimensions shown may change when final survey for legal title is done. All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.



# Floor Plan - Unit 5



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 for Mr T. Culina.

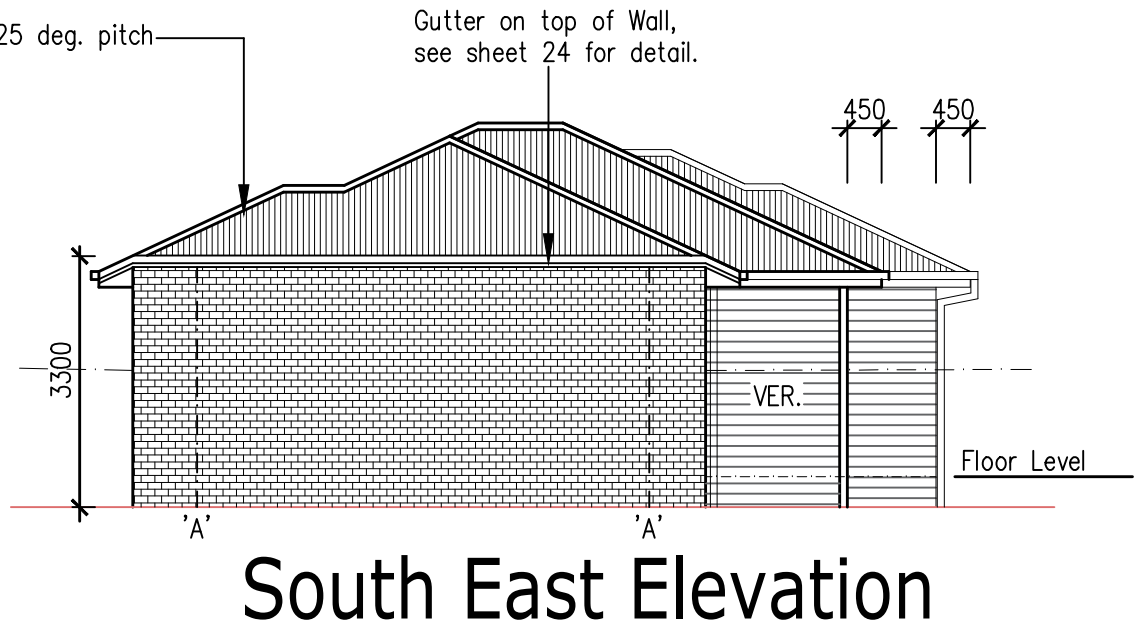
Scale - 1: 100  
 Date - 14/10/2021  
 Amnd - 18/7/2022  
 Amnd - 25/8/2022  
 Amnd - 24/3/2023

Project No. 1976B  
 Sheet No. 10 of 25

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**South West Elevation**



**South East Elevation**

Unit 5

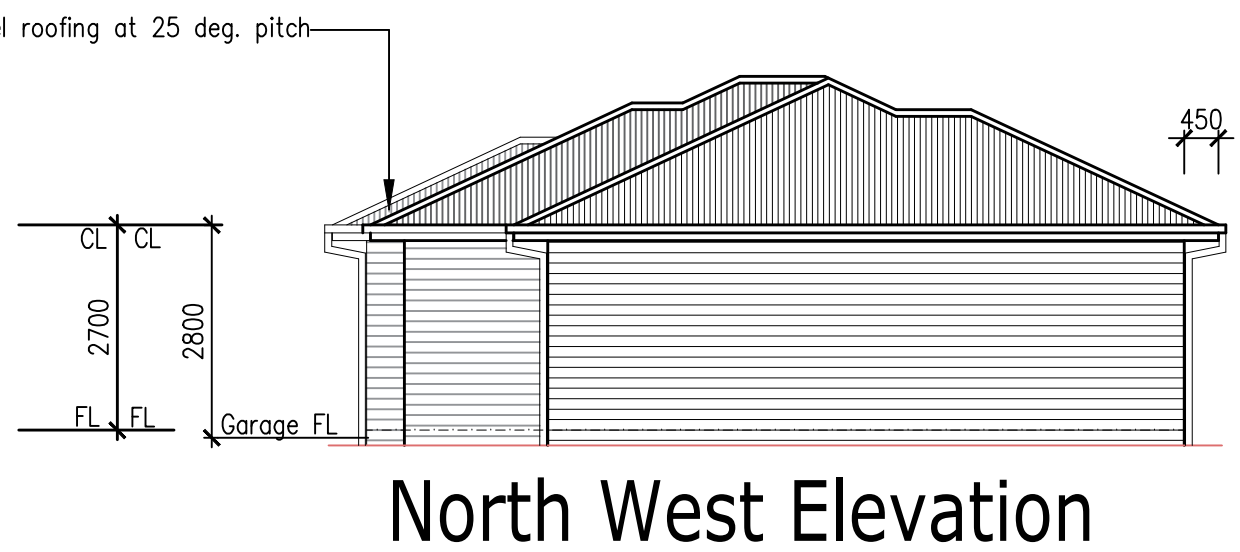


**MATERIALS & COLOUR SCHEDULE:**  
 ROOFING – Colorbond steel, colour 'BASALT'  
 GUTTERS – Colorbond steel, colour 'BASALT'  
 WALLS – Face brickwork, colour 'Red blend'  
           – BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'  
 FASCIA – Colorbond steel, colour 'BASALT'  
 WINDOWS – Aluminium frames, colour Dulux 'White'

**NOTE:**  
 Max. 190mm step at external doorways

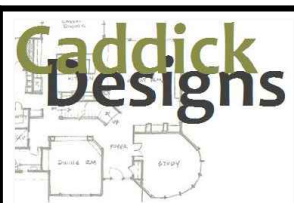


**North East Elevation**



**North West Elevation**

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Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 25/8/2022  
 Amnd – 24/3/2023

Project No. 1976B  
 Sheet No. 11 of 25



# Window & Door Schedule

No	Window Size & Style	Lintel Size
W1	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W2	2100H x 1200 Alum. awning window	90 x 35 F17 HW
W3	1800H x 1800 Alum. awning window	90 x 35 F17 HW
W4	900H x 900 Alum. awning window	90 x 35 F17 HW
W5	900H x 600 Timber awning window	90 x 35 F17 HW
W7	2100H x 500 Alum. awning window	90 x 35 F17 HW
EMAIL		
inspector@arbs.com.au		
D1	2040H x 820 timber swing door	
D2	2100H x 960 timber sliding door	
D3	2100H x 970 timber sliding door	
D4	2040H x 820 timber cavity sliding door	
D5	2100H x 750 timber cavity sliding door	
D6	2100H x 2100 glass sliding door	190 x 45 F17 HW
D7	2300H x 5000 Colorbond panel lift door	See engineers design

## Electrical Legend

- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ⊠ Ceiling mounted light 14 watt & exhaust fan unit
- ⊙ Ceiling recessed 9 watt LED spotlight light
- ⊠ 36 watt ceiling mounted fluorescent light
- ⊠ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- ⊠ Undermount style kitchen sink
- ⊠ Above bench vanity basin

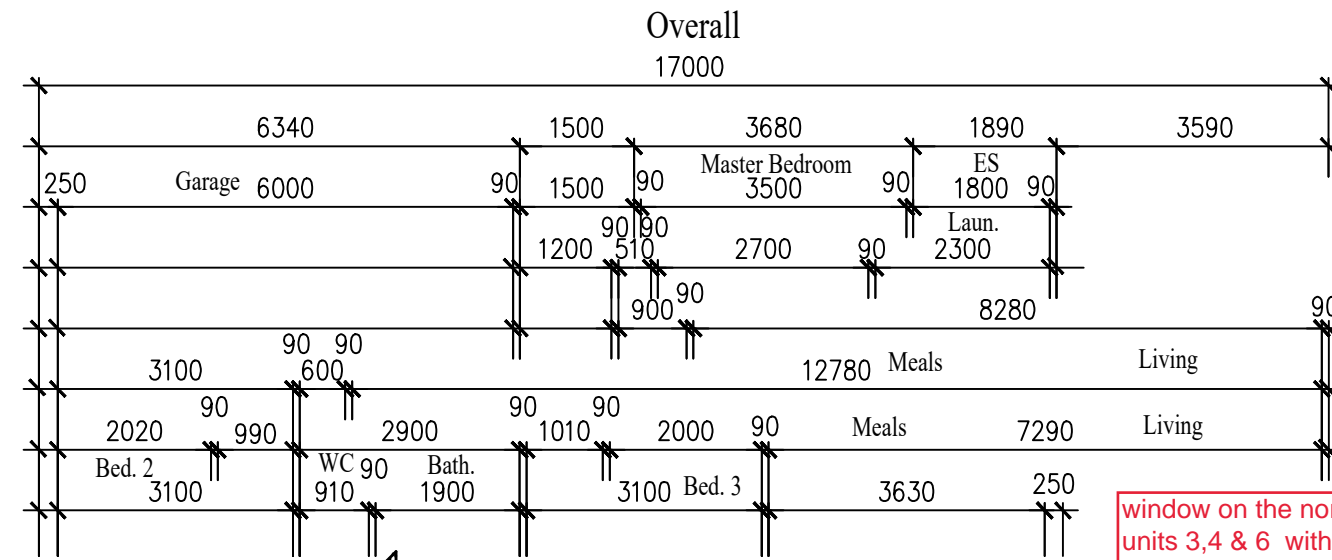
## Light Wattage

Class 1 Extension – 334 watts, 2.33 watts/sq.m  
 Class 1 building allowance is 5 watts/sq.m.  
 Verandah areas – 28 watts, 3.41 watts/sq.m  
 Verandah/Balcony allowance is 4 watts/sq.m.  
 Garage area – 27 watts, 0.95 watts/sq.m  
 Garage (class 10) allowance is 3 watts/sq.m.

**Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

- D.P. 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.
- 'A' Articulated brick control joints to comply with CCAA technical note – TN 61.
- MH Man hole Min 600 x 600mm.

**NOTE:**  
 Actual dimensions shown may change when final survey for legal title is done.  
 All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.

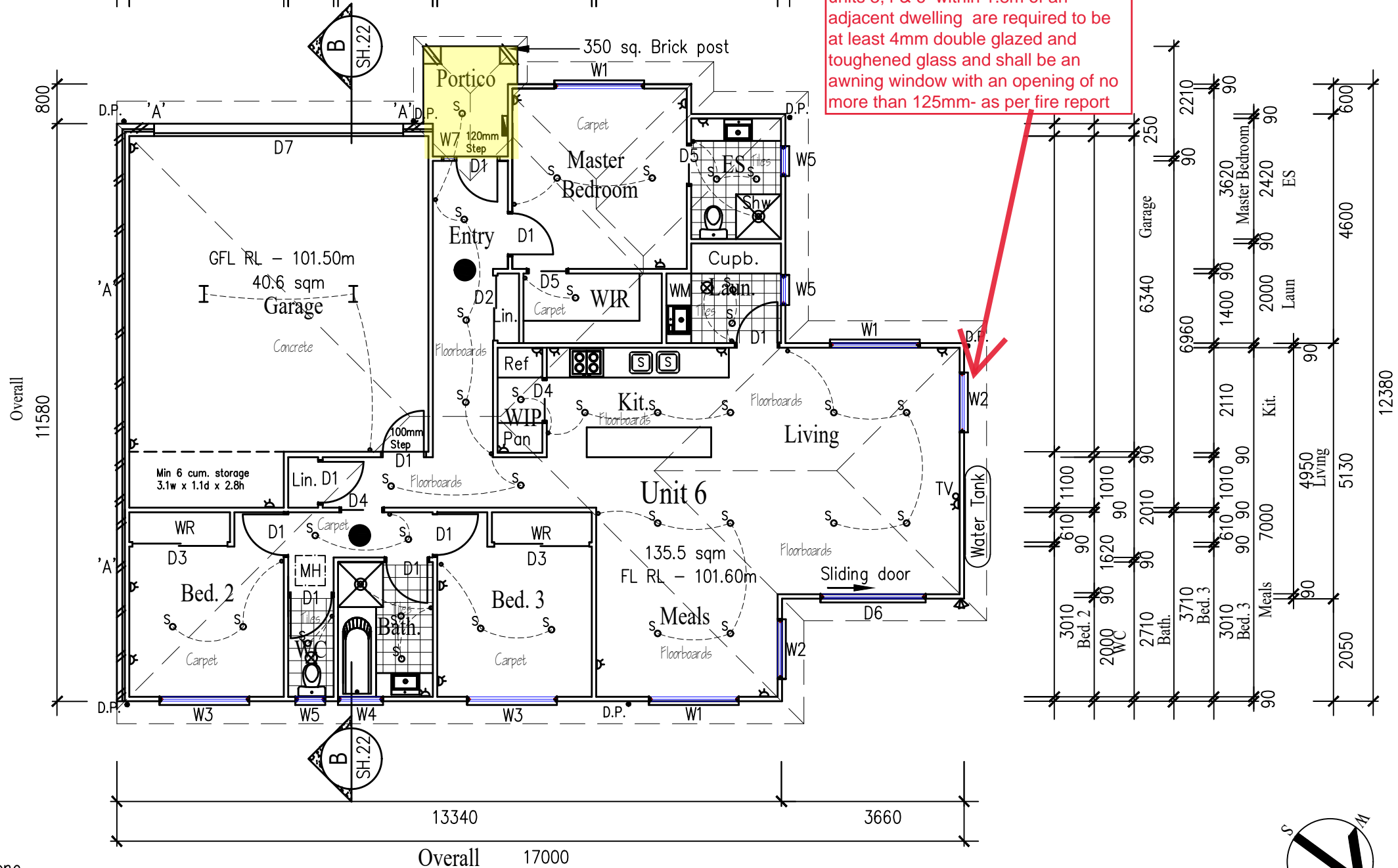


**Note:**  
 Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586

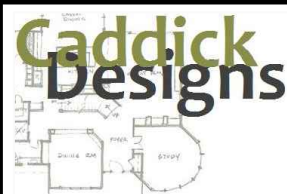
Window on the north west elevation units 3,4 & 6 within 1.8m of an adjacent dwelling are required to be at least 4mm double glazed and toughened glass and shall be an awning window with an opening of no more than 125mm- as per fire report



# Floor Plan - Unit 6



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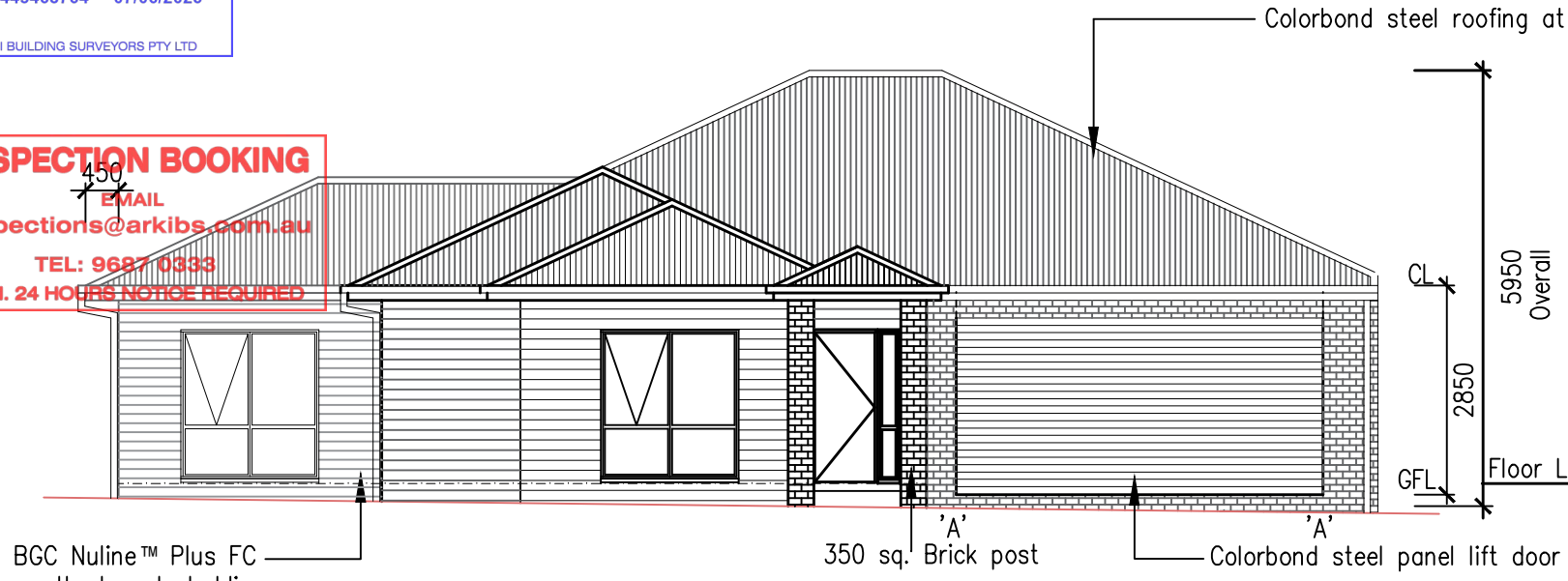
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 Gisborne VIC 3437  
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 BPB REG NO. DP-AD 2095

Proposed Unit Development  
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 for Mr T. Culina.

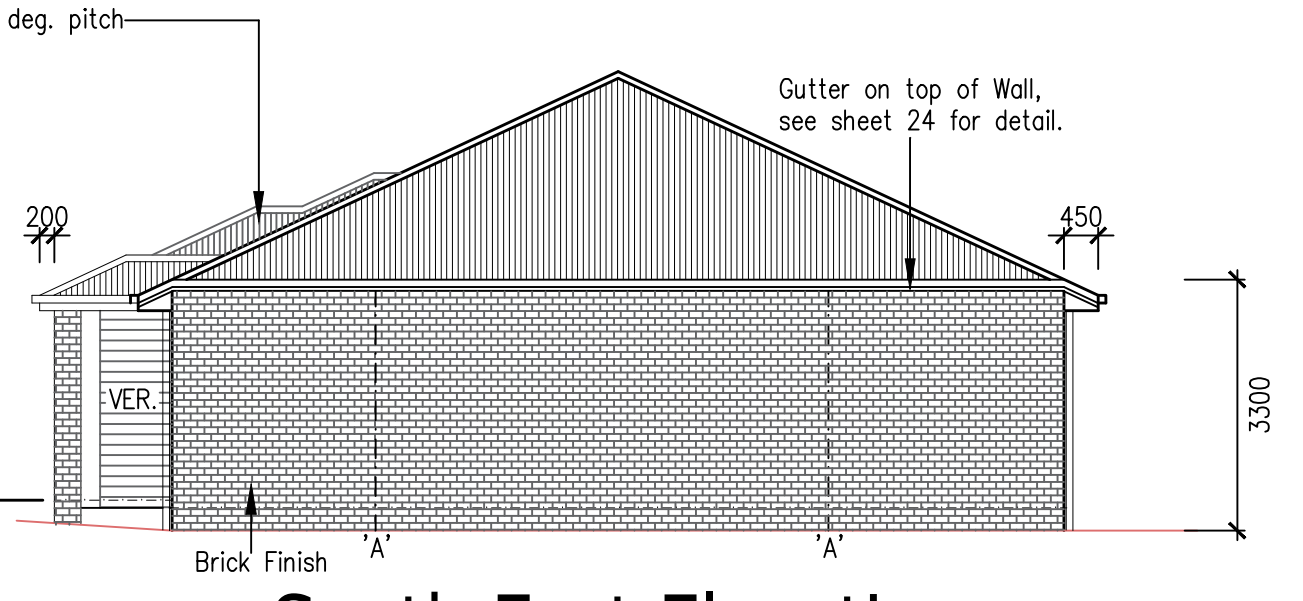
Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 25/8/2022  
 Amnd – 24/3/2023

Project No. 1976B  
 Sheet No. 12 of 25

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 inspections@arkibs.com.au  
 TEL: 9687 0333  
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**South West Elevation**

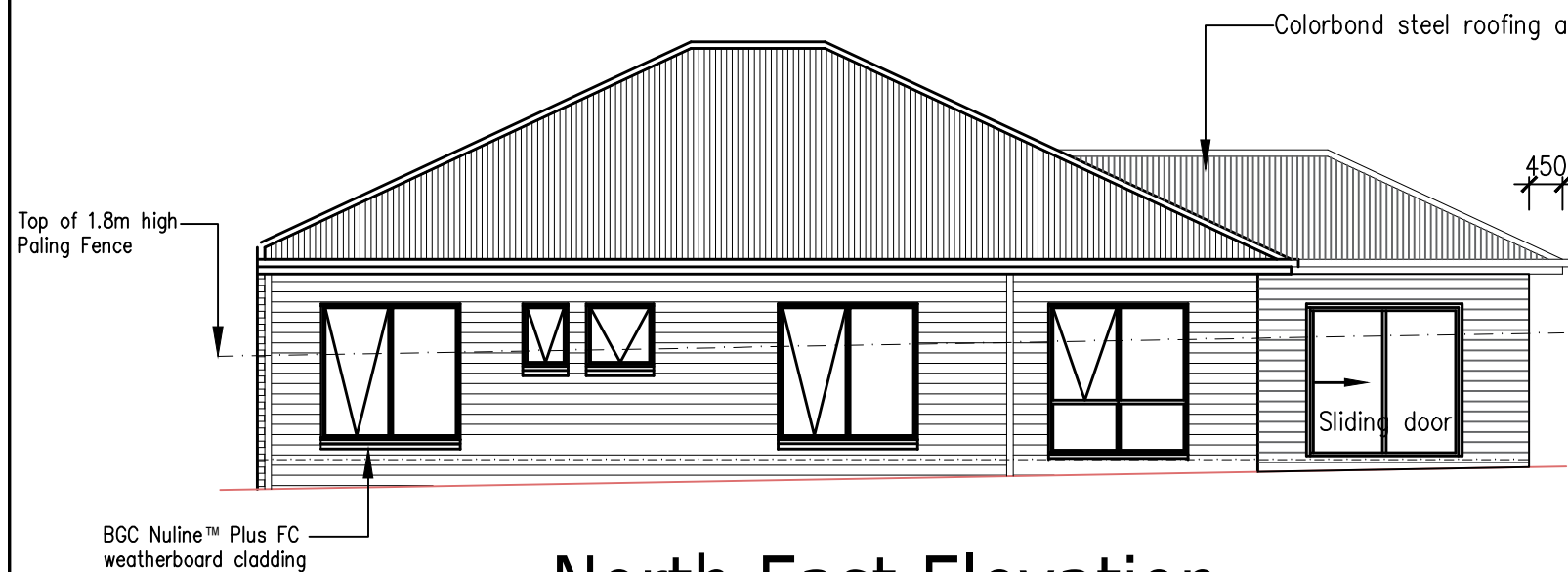


**South East Elevation**

Unit 6



**MATERIALS & COLOUR SCHEDULE:**  
 ROOFING – Colorbond steel, colour 'BASALT'  
 GUTTERS – Colorbond steel, colour 'BASALT'  
 WALLS – Face brickwork, colour 'Red blend'  
           – BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'  
 FASCIA – Colorbond steel, colour 'BASALT'  
 WINDOWS – Aluminium frames, colour Dulux 'White'  
 NOTE:  
 Max. 190mm step at external doorways

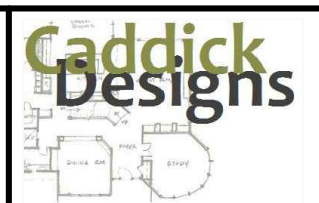


**North East Elevation**



**North West Elevation**

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 for Mr T. Culina.

Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 24/3/2023  
 Areas –

Project No. 1976B  
 Sheet No. 13 of 25



**BUILDING PERMIT**

**Window & Door Schedule**

No	Window Size & Style	Lintel Size
W1	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W2	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W3	2100H x 1200 Alum. awning window	90 x 35 F17 HW
W4	900H x 600 Alum. awning window	90 x 35 F17 HW
W5	900H x 900 Alum. awning window	90 x 35 F17 HW
W7	2100H x 300 Alum. awning window	90 x 35 F17 HW

No	Door Style	Lintel Size
D1	2040H x 820 timber swing door	
D2	2100H x 2100 Alum. sliding door	190 x 35 F17 HW
D3	2/2040H x 970 timber sliding door	
D4	2040H x 820 timber cavity sliding door	
D6	2/2040H x 650 timber sliding door	
D7	2300H x 5000 Colorbond panel lift door	See engineers design

**INSPECTION BOOKING**

inspections@arkibs.com.au

TEL: 0800 09416

14/03/2023 NOTICE REQUIRED

**Electrical Legend**

- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ⊗ Ceiling mounted light 14 watt, heater & exhaust fan unit
- ⊙ Ceiling recessed 9 watt LED spotlight light
- ⊏ 36 watt ceiling mounted flourescent light
- Ⓜ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- Ⓜ Undermount style kitchen sink
- Ⓜ Above bench vanity basin

**Light Wattage**

Class 1 Extension – 334 watts, 2.33 watts/sq.m  
 Class 1 building allowance is 5 watts/sqm.  
 Verandah areas – 28 watts, 3.41 watts/sq.m  
 Verandah/Balcony allowance is 4 watts/sqm.  
 Garage area – 27 watts, 0.95 watts/sq.m  
 Garage (class 10) allowance is 3 watts/sqm.

**Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

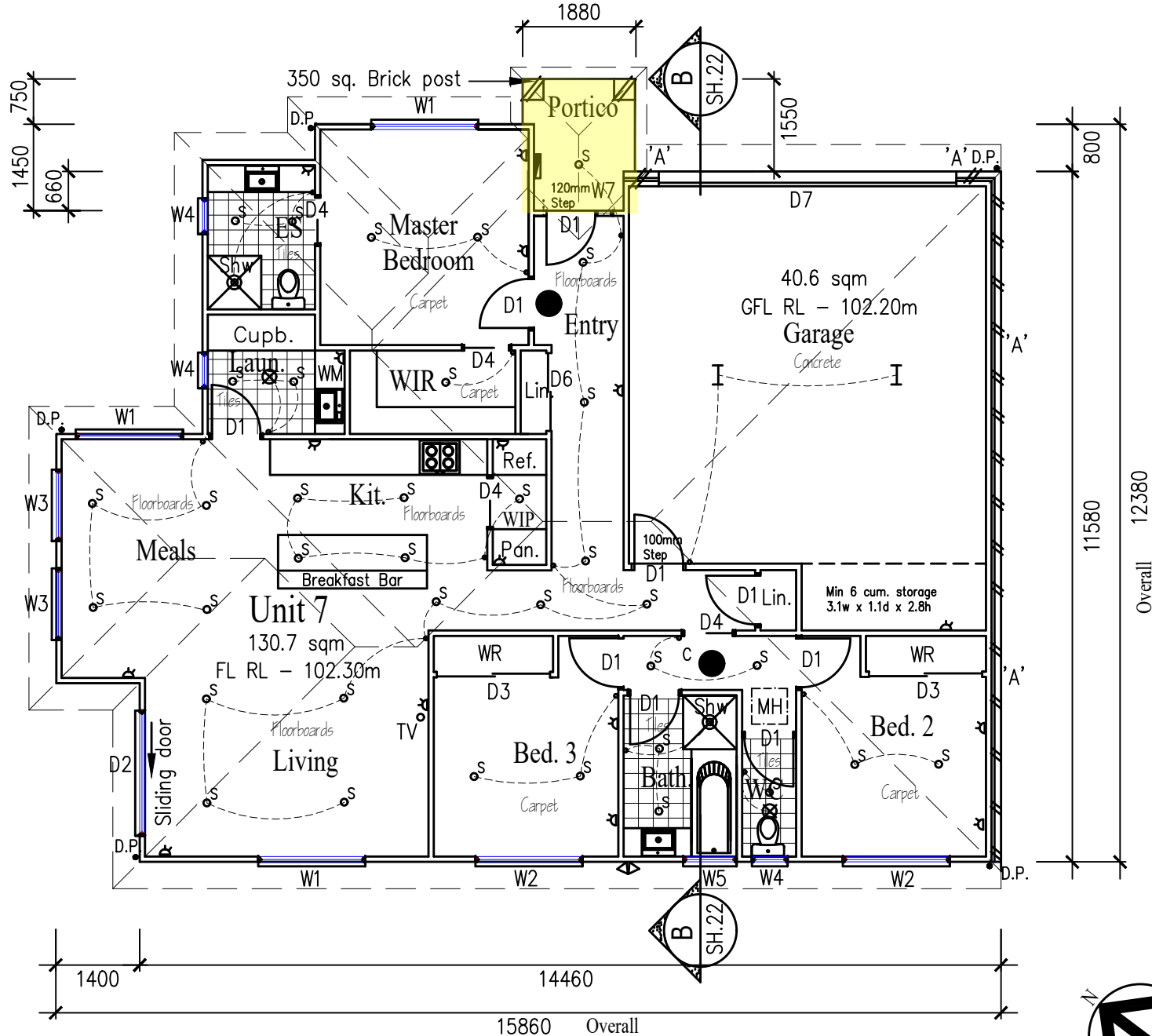
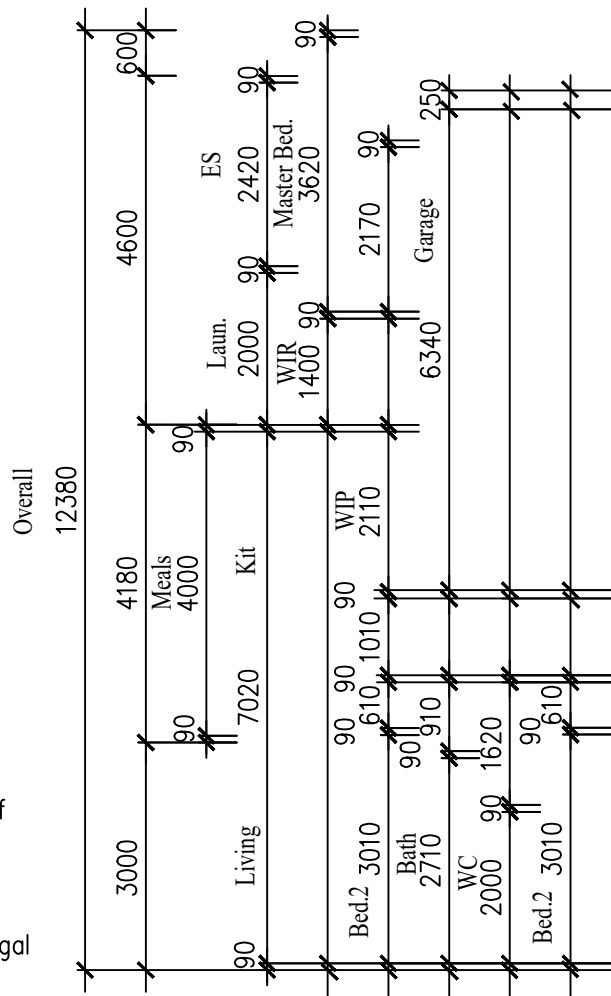
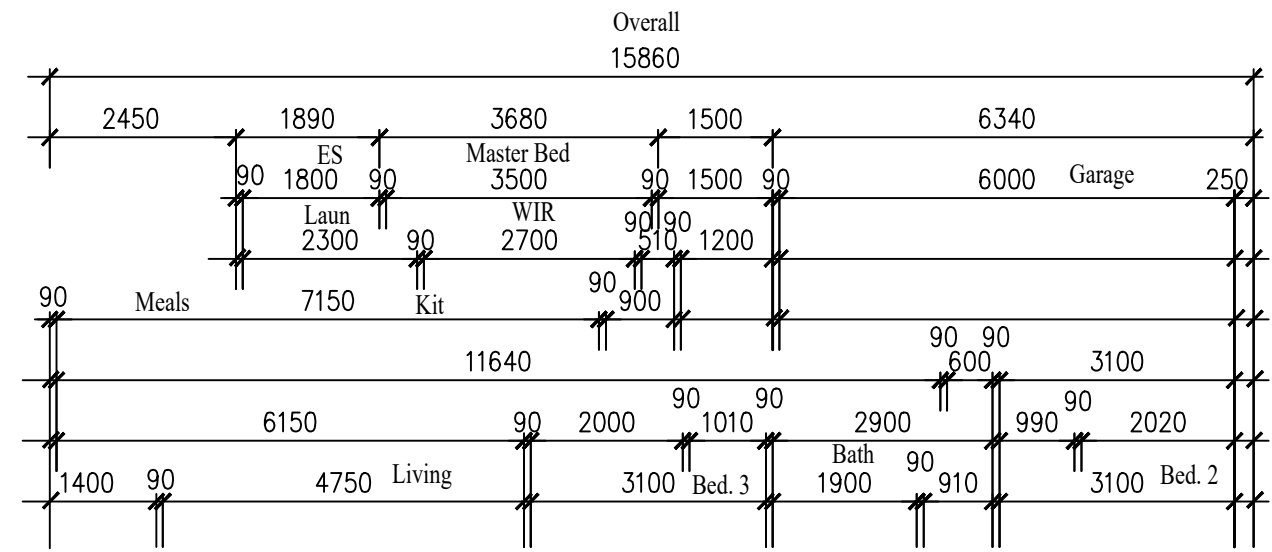
- D.P. 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.
- 'A' Articulated brick control joints to comply with CCAA technical note – TN 61.
- MH Man hole Min 600 x 600mm.

**NOTE:**  
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 All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.

**Note:**  
 Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

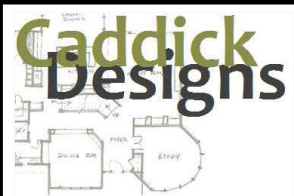
Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586



**Floor Plan - Unit 7**



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Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 25/8/2022  
 Amnd – 24/3/2023

Project No. 1976B  
 Sheet No. 14 of 25

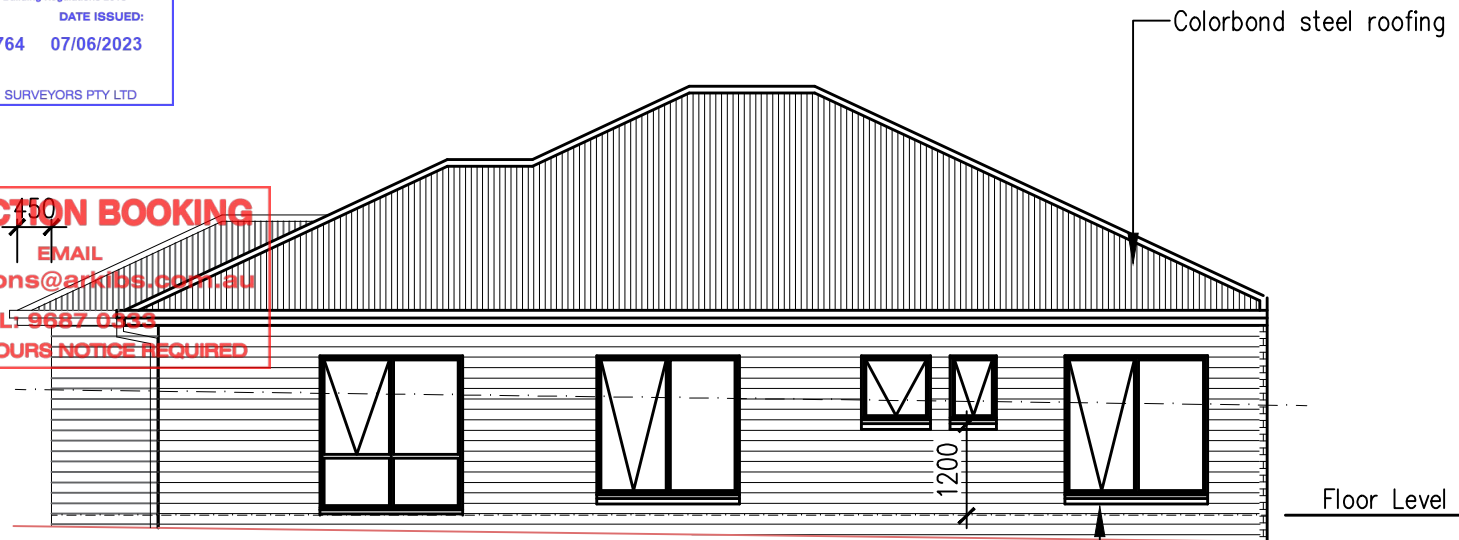
**BUILDING PERMIT**

Building Act 1993 Building Regulations 2018  
PERMIT NUMBER: 2103445468764 DATE ISSUED: 07/06/2023

ARKI BUILDING SURVEYORS PTY LTD

**INSPECTION BOOKING**

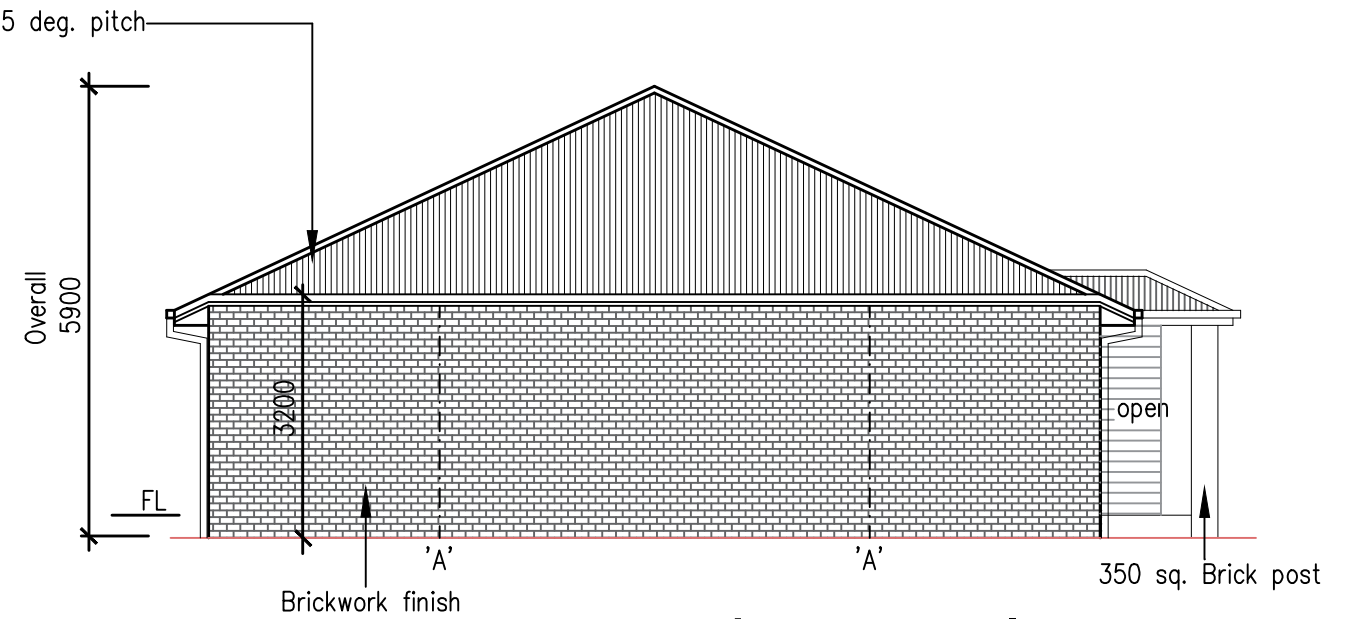
EMAIL  
inspections@arkibs.com.au  
TEL: 9687 0433  
MIN. 24 HOURS NOTICE REQUIRED



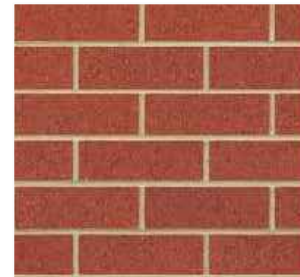
**South West Elevation**

BGC Nuline™ Plus FC weatherboard cladding

Unit 7



**South East Elevation**

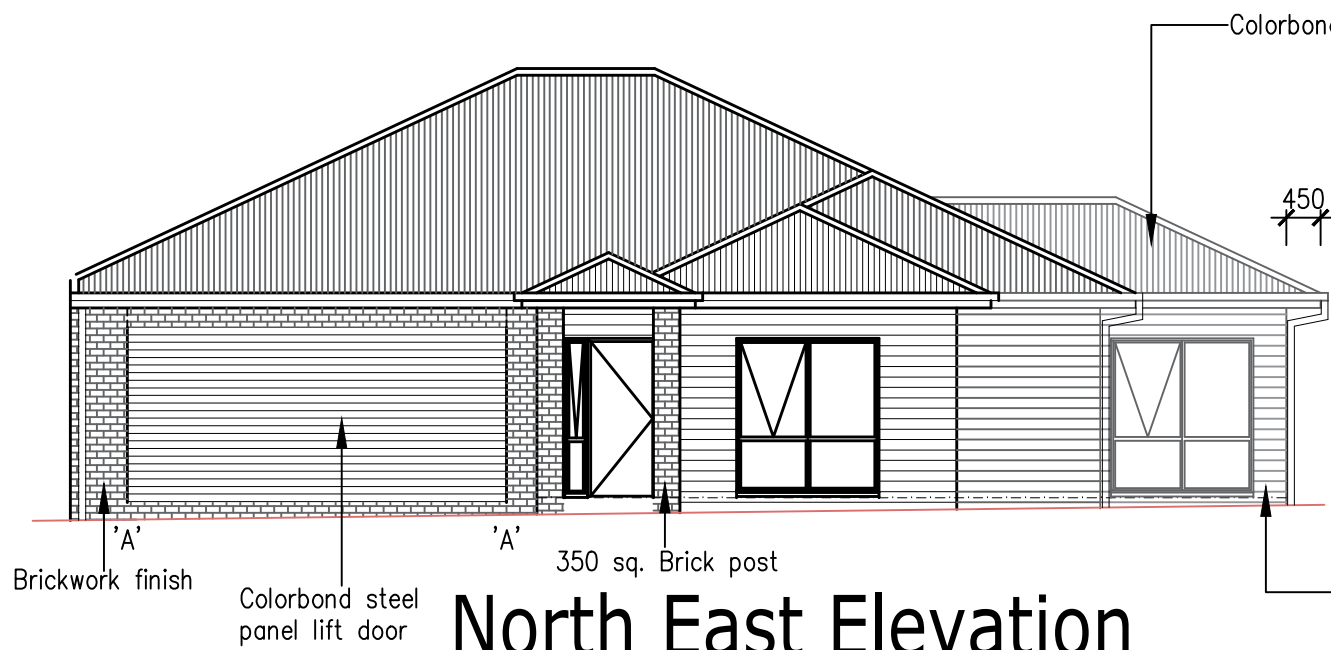


**MATERIALS & COLOUR SCHEDULE:**

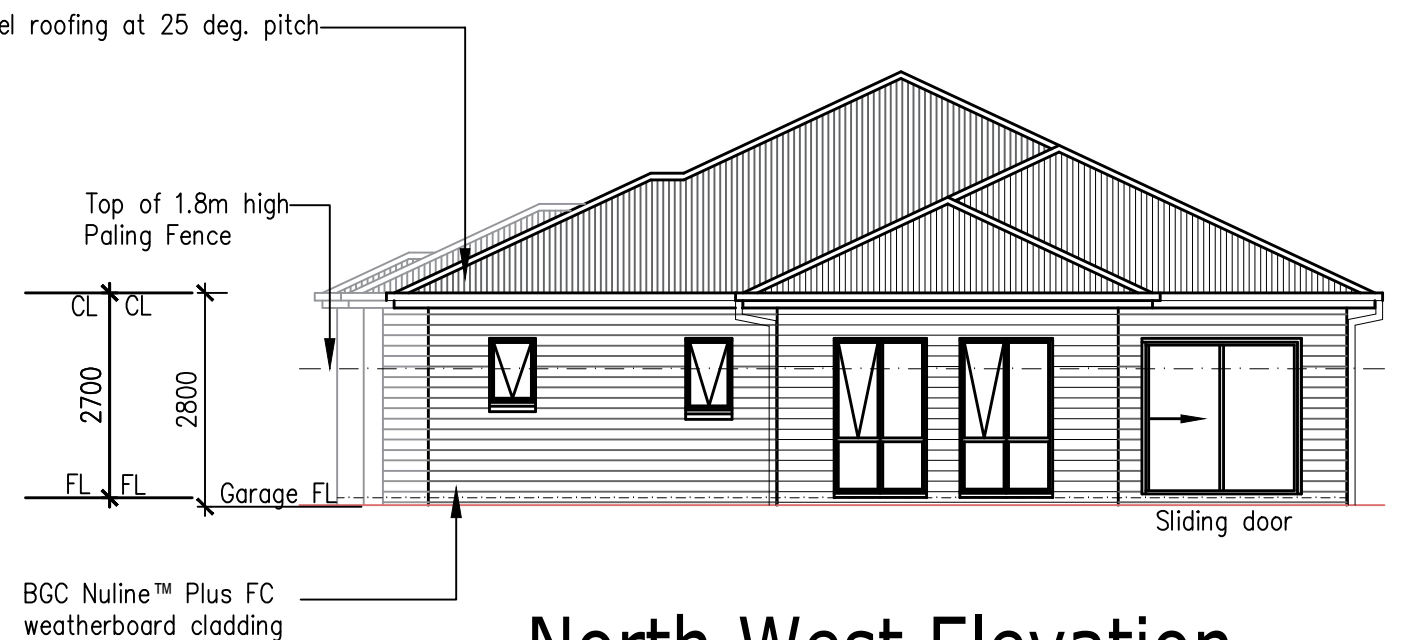
- ROOFING – Colorbond steel, colour 'BASALT'
- GUTTERS – Colorbond steel, colour 'BASALT'
- WALLS – Face brickwork, colour 'Red blend'
- BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'
- FASCIA – Colorbond steel, colour 'BASALT'
- WINDOWS – Aluminium frames, colour Dulux 'White'

**NOTE:**

Max. 190mm step at external doorways

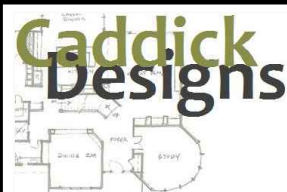


**North East Elevation**



**North West Elevation**

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for Mr T. Culina.

Scale – 1: 100  
Date – 14/10/2021  
Amnd – 18/7/2022  
Amnd – 25/8/2022  
Amnd – 24/3/2023

Project No. 1976B  
Sheet No. 15 of 25



**BUILDING PERMIT**

**Window & Door Schedule**

No	Window Size & Style	Lintel Size
W1	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W2	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W3	2100H x 2700 Alum. awning window	190 x 45 F17 HW
W4	1050H x 1800 Alum. awning window	140 x 45 F17 HW
W5	900H x 600 Alum. awning window	90 x 35 F17 HW
W6	2100H x 350 Alum. awning window	140 x 45 F17 HW
D1	2040H x 820 timber. swing door	
D2	2100H x 2700 Alum. sliding door	190 x 45 F17 HW
D3	2700H x 1000 timber. sliding door	
D4	2040H x 770 timber. sliding door	
D5	2040H x 620 timber. sliding door	
D6	2300H x 5200 Colorbond. panel lift door	See engineers design
D8	2040H x 820 timber. sliding door	

**INSPECTION RECORDING**

inspections@arkibs.com.au

TEL: 0807 0550

MIN 24 HRS NOTICE REQUIRED

**Electrical Legend**

- ▲ Double power outlet
- ▼ 150 watt external flood light
- Wall mounted light
- ⊗ Ceiling mounted light 14 watt & exhaust fan unit
- Ceiling recessed 9 watt LED spotlight light
- ⊥ 36 watt ceiling mounted flourescent light
- ⊥ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- ⊠ Undermount style kitchen sink
- ⊠ Above bench vanity basin

**Light Wattage**

- Class 1 Extension – 334 watts, 2.33 watts/sq.m
- Class 1 building allowance is 5 watts/sqm.
- Verandah areas – 28 watts, 3.41 watts/sq.m
- Verandah/Balcony allowance is 4 watts/sqm.
- Garage area – 27 watts, 0.95 watts/sq.m
- Garage (class 10) allowance is 3 watts/sqm.

**Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

D.P. 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.

'A' Articulated brick control joints to comply with CCAA technical note – TN 61.

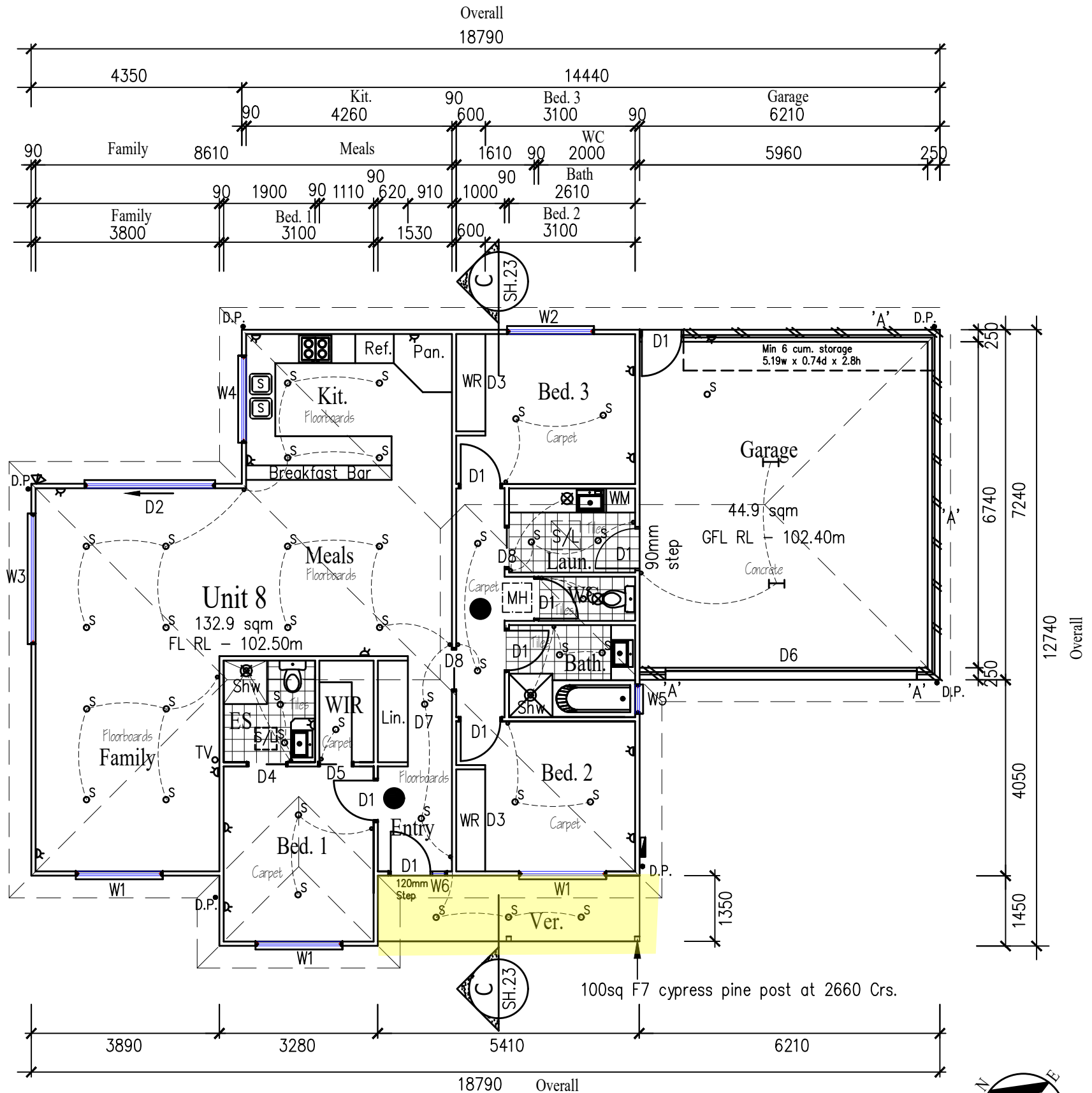
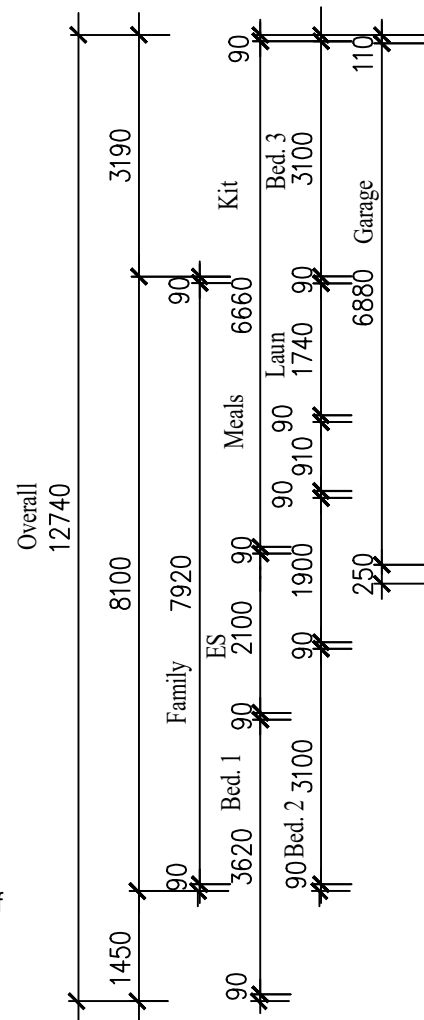
MH Man hole Min 600 x 600mm.

**NOTE:**  
Actual dimensions shown may change when final survey for legal title is done.  
All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.

**Note:**  
Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

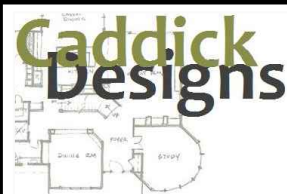
Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586



**Floor Plan - Unit 8**



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Gisborne VIC 3437  
Email - info@caddickdesigns.com.au  
BPB REG NO. DP-AD 2095

Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

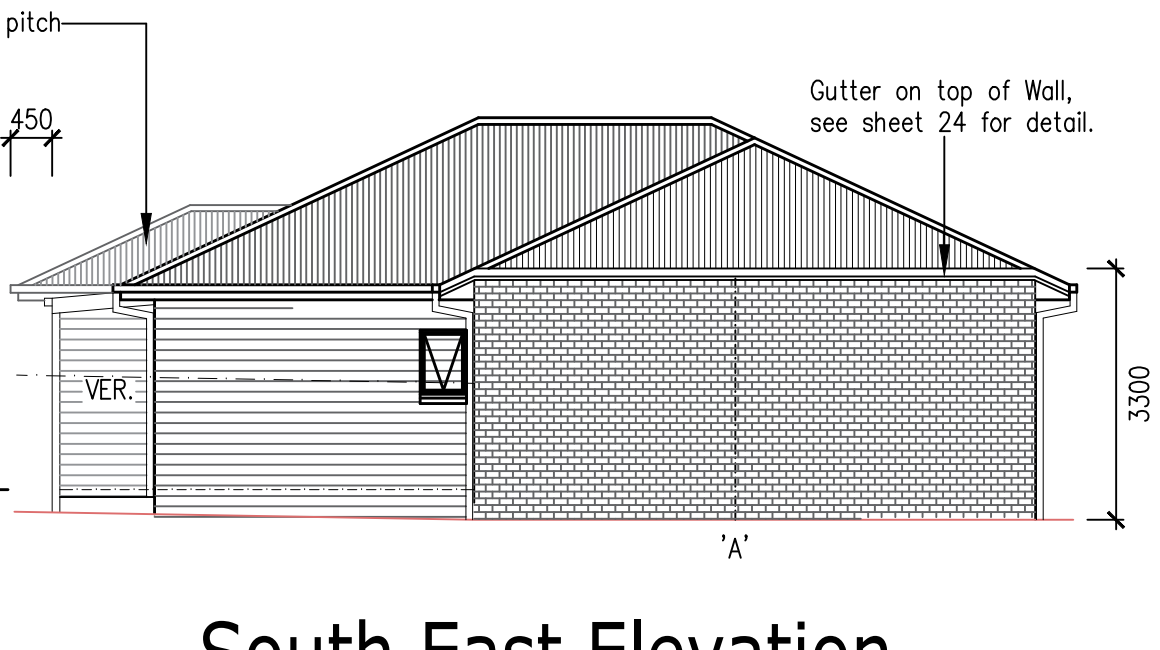
Scale - 1: 100  
Date - 18/10/2021  
Amnd - 18/7/2022  
Amnd - 25/8/2022  
Amnd - 24/3/2023

Project No. 1976B  
Sheet No. 16 of 25

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 TEL: 9687 0333  
 MIN. 24 HOURS NOTICE REQUIRED

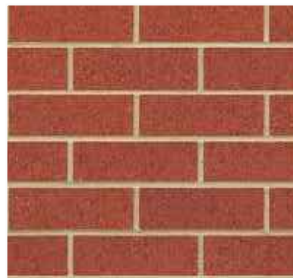


**South West Elevation**



**South East Elevation**

Unit 8

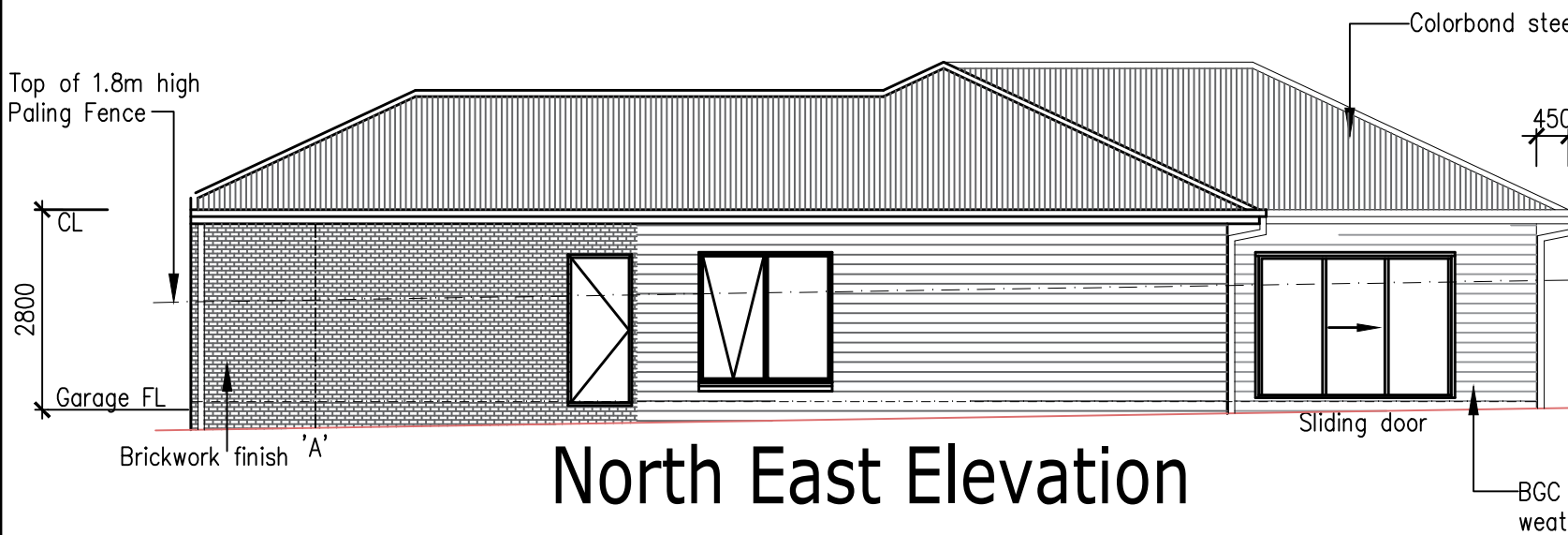


**MATERIALS & COLOUR SCHEDULE:**

- ROOFING – Colorbond steel, colour 'BASALT'
- GUTTERS – Colorbond steel, colour 'BASALT'
- WALLS – Face brickwork, colour 'Red blend'  
 – BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'
- FASCIA – Colorbond steel, colour 'BASALT'
- WINDOWS – Aluminium frames, colour Dulux 'White'

**NOTE:**

Max. 190mm step at external doorways

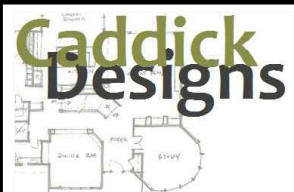


**North East Elevation**



**North West Elevation**

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 Gisborne VIC 3437  
 Email – [info@caddickdesigns.com.au](mailto:info@caddickdesigns.com.au)  
 BPB REG NO. DP-AD 2095

Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale – 1: 100  
 Date – 18/10/2021  
 Amnd – 18/7/2022  
 Amnd – 25/8/2022  
 Amnd – 24/3/2023

Project No. 1976B  
 Sheet No. 17 of 25



**BUILDING PERMIT**  
 Building Permit No. 2103495468764  
 PROJECT NUMBER: 07/06/2023

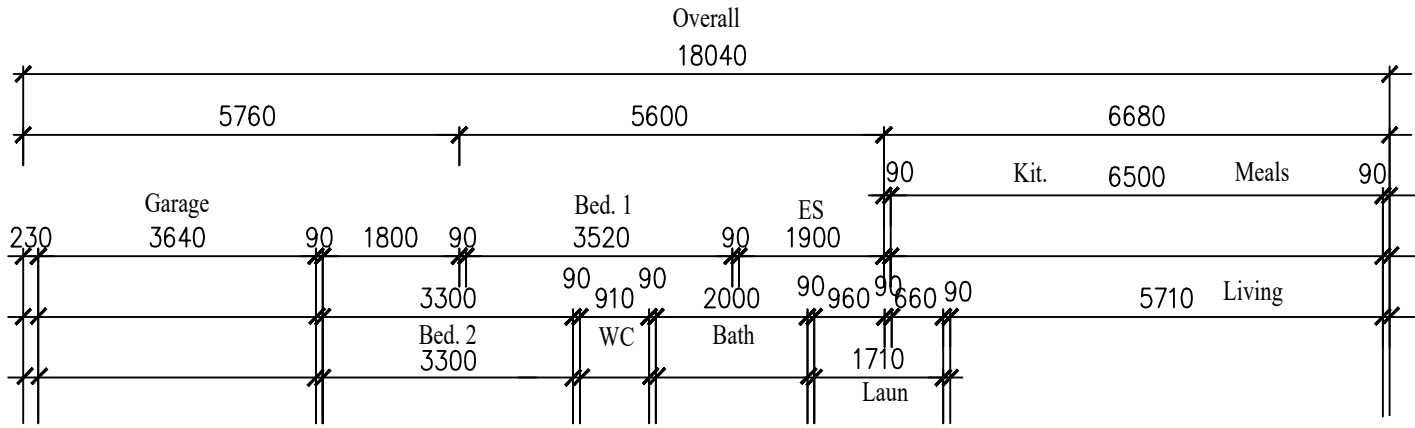
No.	Window Size & Style	Lintel Size
W1	2100H x 1800 Alum. awning window	140 x 45 F17 HW
W2	1800H x 1800 Alum. awning window	140 x 45 F17 HW
W3	900H x 1200 Alum. awning window	140 x 45 F17 HW
W4	900H x 600 Alum. awning window	90 x 35 F17 HW
W5	900H x 600 Alum. awning window	90 x 35 F17 HW
W6	1050H x 600 Alum. awning window	90 x 35 F17 HW
W7	450H x 1800 Alum. awning window	140 x 45 F17 HW
D1	2040H x 820 timber swing door	
D2	2100H x 1800 Alum. sliding door	140 x 45 F17 HW
D3	2/2040H x 1250 timber sliding door	
D5	2040H x 820 timber cavity sliding door	
D6	2250H x 2700 Colorbond. panel lift door	See engineers design
D7	2/2040H x 600 timber doors	
D8	2100H x 3000 Alum. sliding door	240 x 45 F17 HW

**INSPECTION BOOKING**  
 inspections@arkibs.com.au

**Note:**  
 Exhaust fan to be switched on with light switch in WC, with min. 25 l/s and vented directly to outside air in accordance with BCA Clause 3.8.7.3

Lift off hinges to be installed on doors within 1200mm of closet pan.

Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586



**Electrical Legend**

- ⚡ Double power outlet
- ▽ 150 watt external flood light
- ⊙ Wall mounted light
- ☒ Ceiling mounted light 14 watt, heater & exhaust fan unit
- ⊙ Ceiling recessed 9 watt LED spotlight light
- ⊏ 36 watt ceiling mounted fluorescent light
- ⊏ Meter Box
- Smoke Alarms to be interconnected as per clause 3.7.2.2 of the BCA 2019
- ⊏ Undermount style kitchen sink
- ⊏ Above bench vanity basin

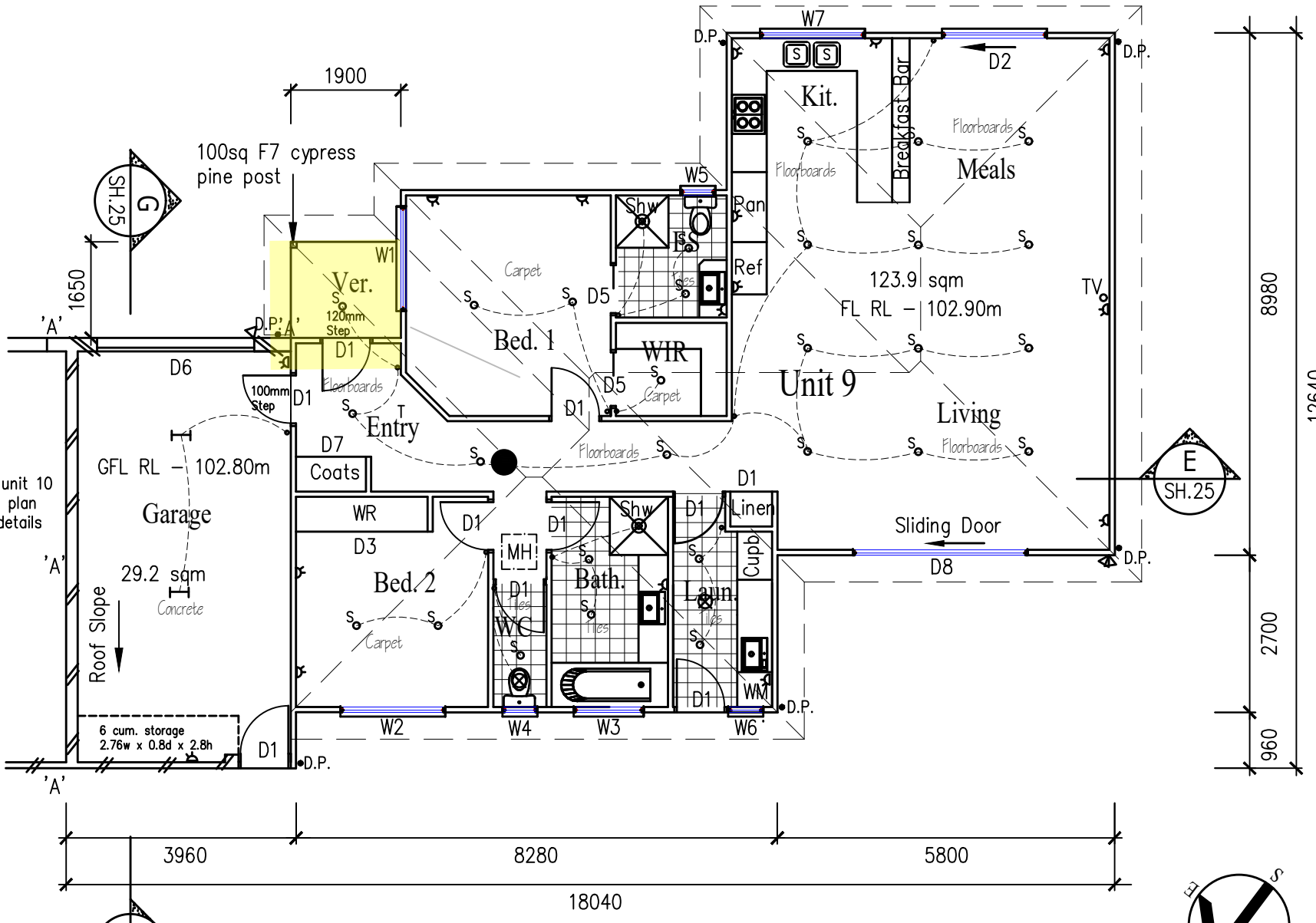
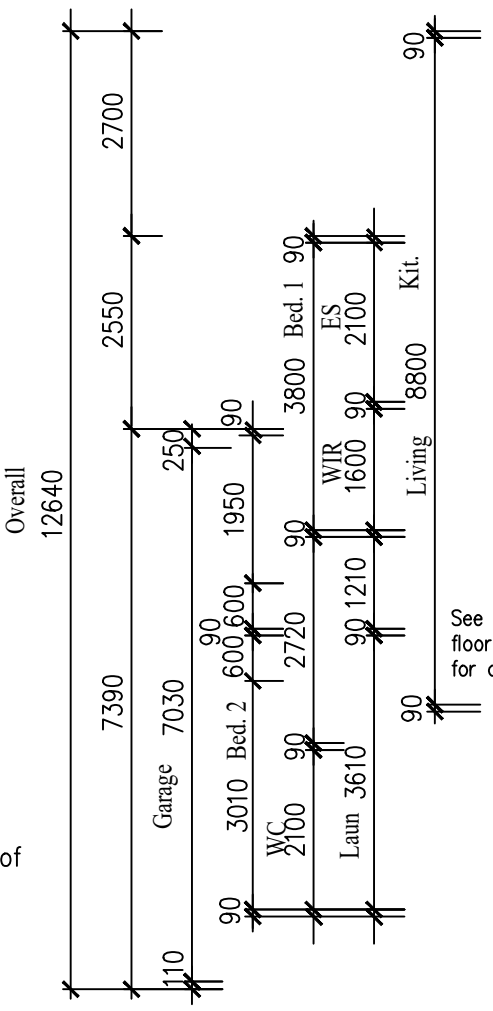
**Light Wattage**

Class 1 Extension – 334 watts, 2.33 watts/sq.m  
 Class 1 building allowance is 5 watts/sqm.  
 Verandah areas – 28 watts, 3.41 watts/sq.m  
 Verandah/Balcony allowance is 4 watts/sqm.  
 Garage area – 27 watts, 0.95 watts/sq.m  
 Garage (class 10) allowance is 3 watts/sqm.

**Water Tank** Min. 3000 Lt. water tank installed to catch min. 50% of roof area, with tank connected to toilet cisterns and garden taps.

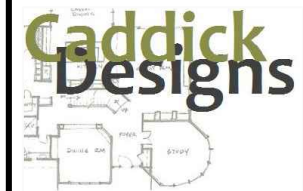
- D.P. 90 mm dia PVC SWD connected to existing SWD and legal point of discharge or connected to Water Tank.
- 'A' Articulated brick control joints to comply with CCAA technical note – TN 61.
- ⊏ MH Man hole Min 600 x 600mm.

**NOTE:**  
 Actual dimensions shown may change when final survey for legal title is done.  
 All stormwater from buildings and sealed surfaces is to be drained from the site to the legal point of discharge.



**Floor Plan - Unit 9**

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 BPB REG NO. DP-AD 2095

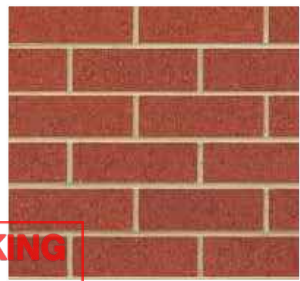
Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale – 1: 100  
 Date – 14/10/2021  
 Amnd – 18/7/2022  
 Amnd – 25/8/2022  
 Amnd – 24/3/2023

Project No. 1976B  
 Sheet No. 18 of 25





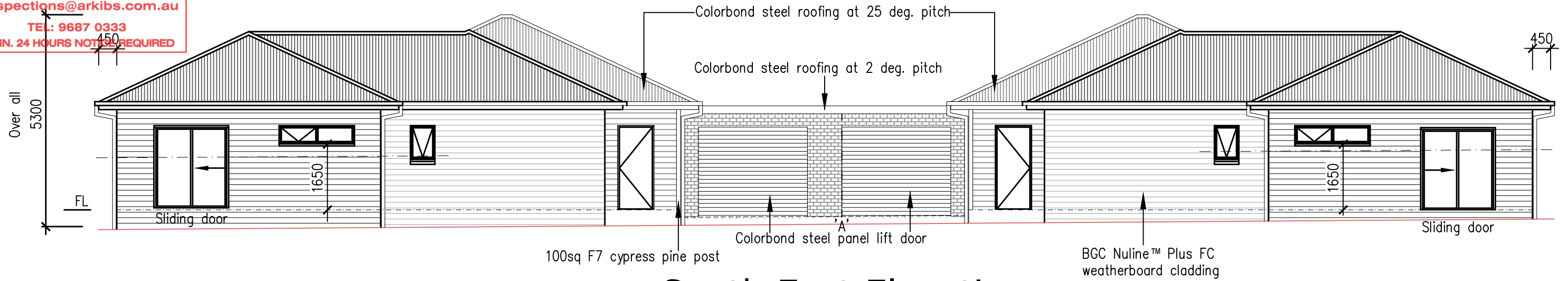


**MATERIALS & COLOUR SCHEDULE:**

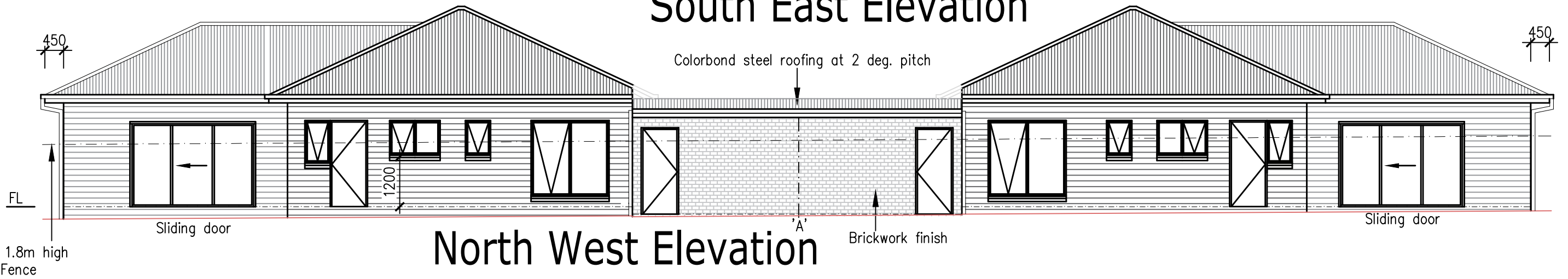
- ROOFING – Colorbond steel, colour 'BASALT'
- GUTTERS – Colorbond steel, colour 'BASALT'
- WALLS – Face brickwork, colour 'Red blend'
  - BGC Nuline™ Plus FC weatherboard cladding, colour Dulux 'Casper White Quarter'
- FASCIA – Colorbond steel, colour 'BASALT'
- WINDOWS – Aluminium frames, colour Dulux 'White'

**NOTE:**  
 Max. 190mm step at external doorways

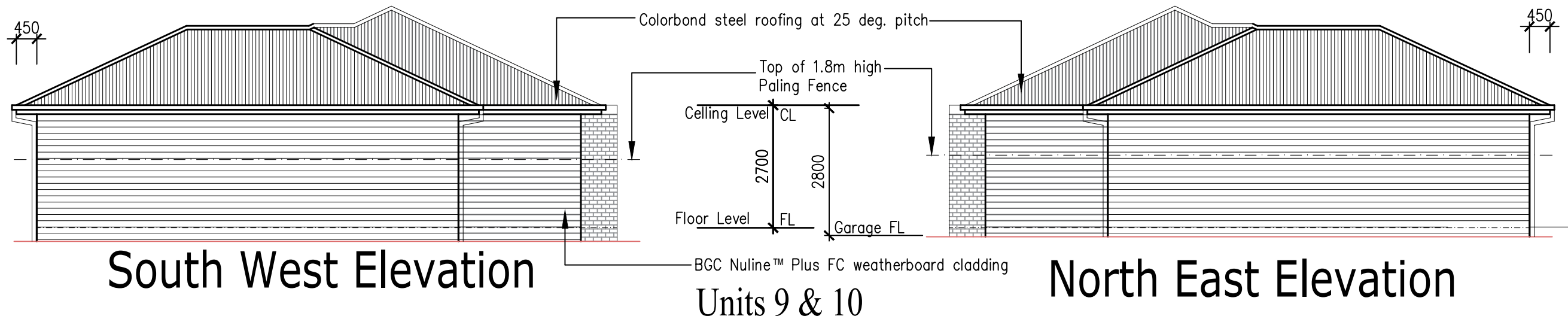
**INSPECTION BOOKING**  
 EMAIL  
 inspections@arkibs.com.au  
 TEL: 9687 0333  
 MIN. 24 HOURS NOTICE REQUIRED



**South East Elevation**



**North West Elevation**

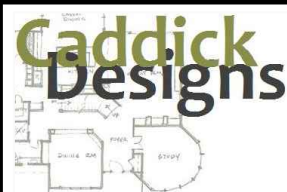


**South West Elevation**

**Units 9 & 10**

**North East Elevation**

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Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale - 1: 100  
 Date - 14/10/2021  
 Amnd - 18/7/2022  
 Amnd - 25/8/2022  
 Amnd - 24/3/2023

Project No. 1976B  
 Sheet No. 20 of 25

**BUILDING PERMIT**

Building Act 1993 Building Regulations 2018  
 PERMIT NO: 21011547551 DATE ISSUED: 02/05/2023  
 ARKI BUILDING SURVEYORS PTY LTD

**NOTE:**  
 Lift off hinges to be installed on doors within 1200mm of closet pan

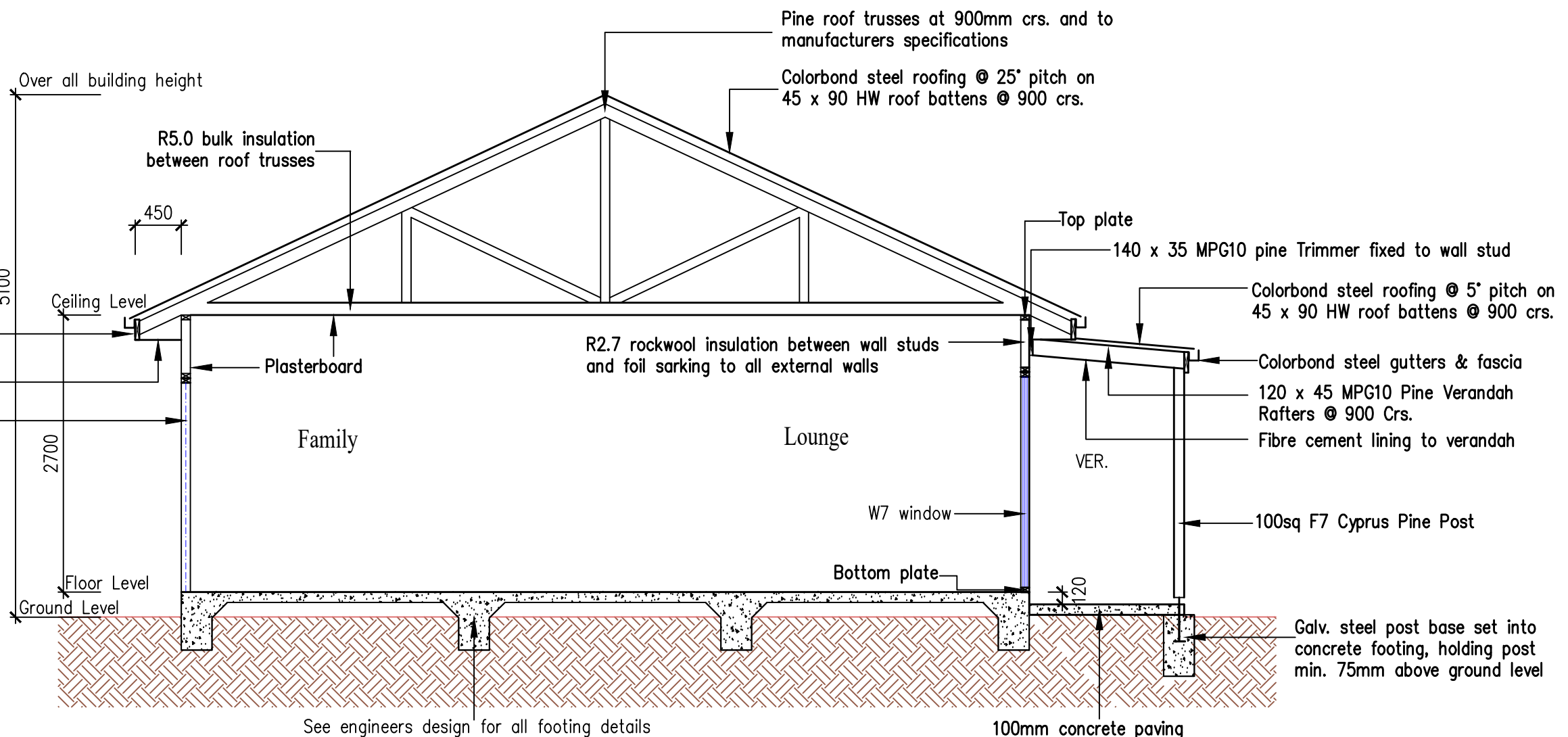
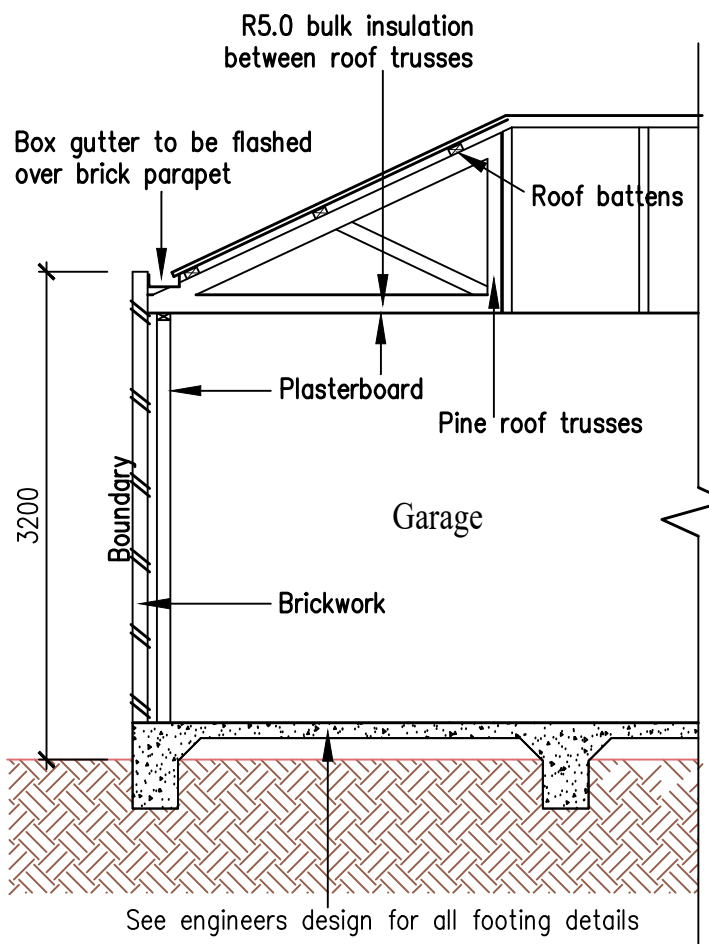
**INSPECTION BOOKING**

EMAIL: [inspections@arkibs.com.au](mailto:inspections@arkibs.com.au)

**NOTE:**  
 All bathroom and toilets windows to be frosted glazing.  
 All bathroom/ensuite windows to have Grade A safety glass if not 2m above floor level.

**NOTE:**  
 Box gutter to be min. size 200mm x 70mm high with min. fall of 1:200

**NOTE:**  
 Box gutter can be cut into rafter/truss by max. one third of the timber depth as per AS 1684

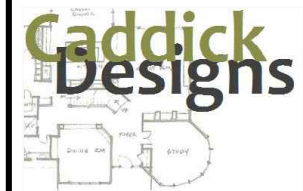


**Section A - A Unit 1 & 2**

**Section F - F Unit 1 & 2**

- BRICK LINTELS:**  
 100 x 100 x 6mm L upto 2400 openings  
 150 x 100 x 10mm L 2400 - 3000 openings
- WALL FRAMING:**  
 Galv. angle iron wall & ply bracing  
 2/35 x 90 MGP10 pine Top Plates  
 45 x 90 MGP10 pine Bottom Plates  
 35 x 70 F7 Noggins @ 1200 crs  
 90 x 35 MGP10 pine Wall Stud @ 450 crs  
 2/35 x 90 MGP10 pine Jamb Studs upto 3000 openings  
 2/45 x 90 MGP10 pine Jamb Studs to 4000 openings

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 BPB REG NO. DP-AD 2095

Proposed Unit Development  
 at 140-142 Main Road, Riddell's Creek.  
 for Mr T. Culina.

Scale - 1: 50  
 Date - 14/10/2021  
 Amnd - 7/10/2022  
 Amnd - 16/2/2023

Project No. 1976B  
 Sheet No. 21 of 25



**BUILDING PERMIT**

NOTE:  
Min 75mm exposed edge on floor slab to comply with AS 3660.1 for termite protection

ARK BUILDING SURVEYORS PTY LTD

**NOTE:**

Lift off hinges to be installed on doors within 1200mm of closet pan.

**INSPECTION BOOKING**

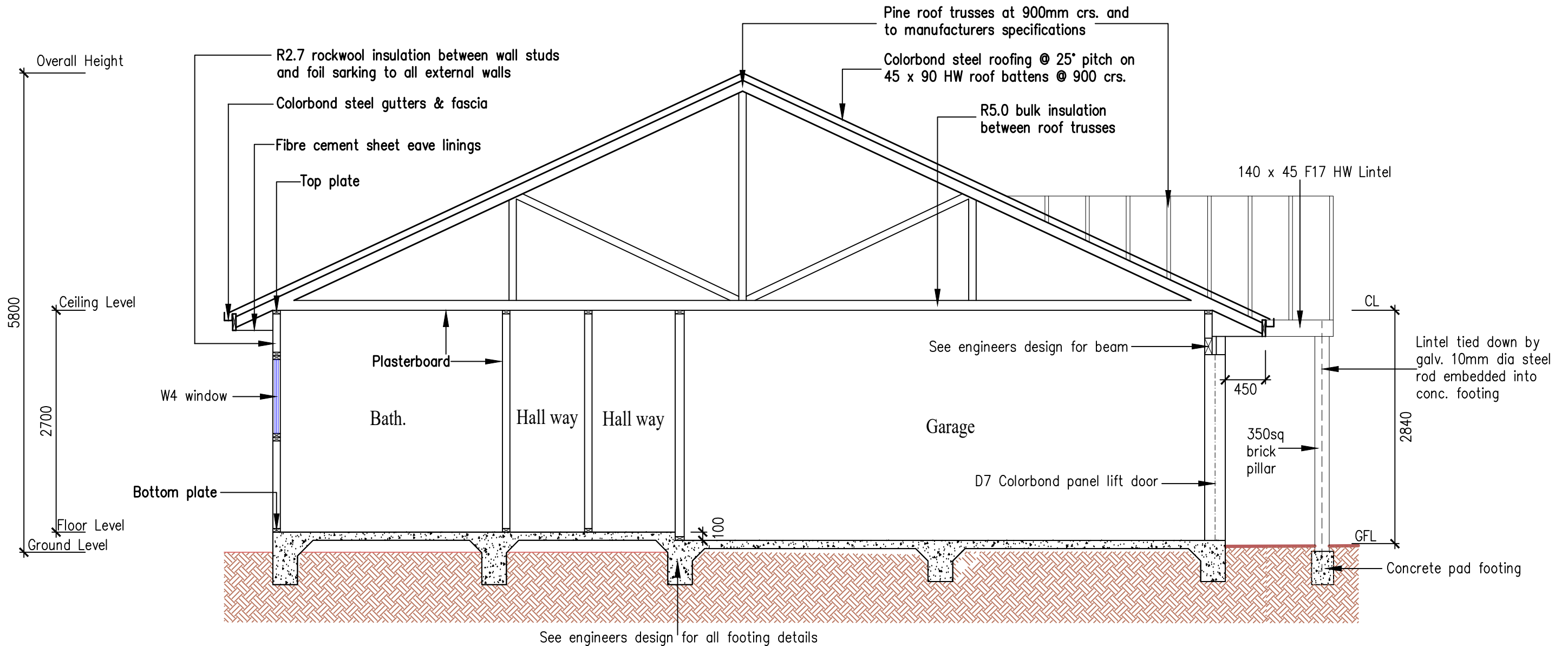
NOTE: EMAIL: [inspections@arkbs.com.au](mailto:inspections@arkbs.com.au)  
All bathroom and toilets windows to be frosted glazing.  
All bathroom/ensuite windows to have Grade A safety glass if not 2m above floor level.  
TEL: 9887 6333  
MIN 2 HOURS NOTICE REQUIRED

**BRICK LINTELS:**

100 x 100 x 6mm L upto 2400 openings  
150 x 100 x 10mm L 2400 - 3000 openings

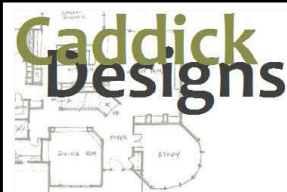
**WALL FRAMING:**

Galv. angle iron wall & ply bracing  
2/35 x 90 MGP10 pine Top Plates  
45 x 90 MGP10 pine Bottom Plates  
35 x 70 F7 Noggins @ 1200 crs  
90 x 35 MGP10 pine Wall Stud @ 450 crs  
2/35 x 90 MGP10 pine Jamb Studs upto 3000 openings  
2/45 x 90 MGP10 pine Jamb Studs to 4000 openings



# Section B - B Unit 3, 6 & 7

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Email - [info@caddickdesigns.com.au](mailto:info@caddickdesigns.com.au)  
BPB REG NO. DP-AD 2095

Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale - 1: 50  
Date - 14/10/2021  
Amnd - 18/7/2022  
Areas -

Project No. 1976B  
Sheet No. 22 of 25

**BUILDING PERMIT**

NOTE:  
Min. 75mm exposed edge on floor slab to comply with AS 3660.1 for termite protection

AR KI BUILDING SURVEYORS PTY LTD

**INSPECTION BOOKING**

NOTE: EMAIL [inspections@arkibuild.com.au](mailto:inspections@arkibuild.com.au)

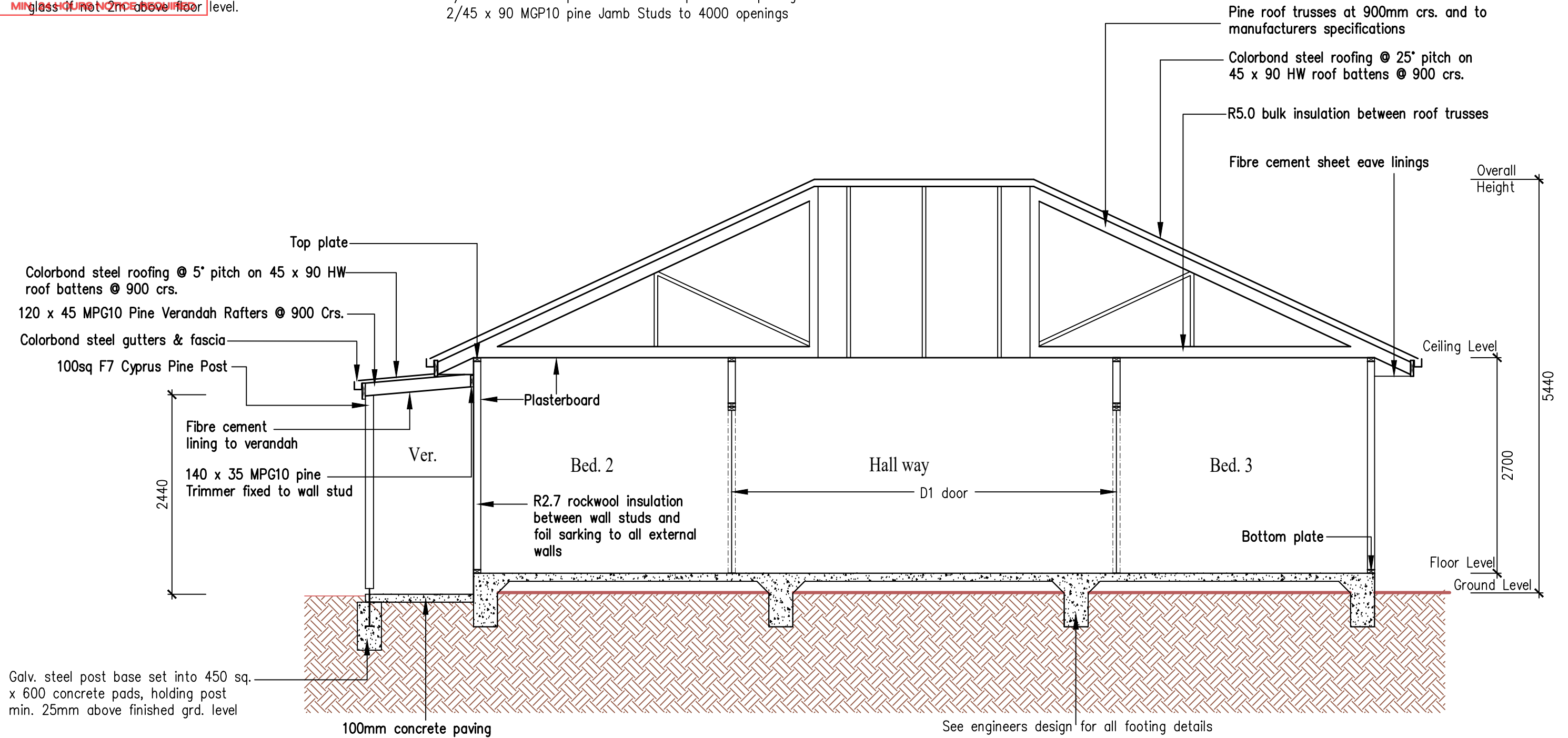
All bathroom and toilet windows to be frosted glazing.  
All bathroom/ensuite windows to have Grade A safety glass if not 2m above floor level.

**BRICK LINTELS:**

100 x 100 x 6mm L upto 2400 openings  
150 x 100 x 10mm L 2400 – 3000 openings

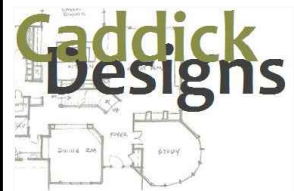
**WALL FRAMING:**

Galv. angle iron wall & ply bracing  
2/35 x 90 MGP10 pine Top Plates  
45 x 90 MGP10 pine Bottom Plates  
35 x 70 F7 Noggins @ 1200 crs  
90 x 35 MGP10 pine Wall Stud @ 450 crs  
2/35 x 90 MGP10 pine Jamb Studs upto 3000 openings  
2/45 x 90 MGP10 pine Jamb Studs to 4000 openings



**Section C - C Unit 4 & 8**

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BPB REG NO. DP-AD 2095

Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale - 1: 50  
Date - 18/10/2021  
Amnd - 18/7/2022  
Amnd - 16/2/2023

Project No. 1976B  
Sheet No. 23 of 25



**BUILDING PERMIT**

Building Act 2006 Building Regulations 2018  
PERMIT NO. 210341668732 DATE ISSUED: 14/10/2021  
ARKI BUILDING SURVEYORS PTY LTD

NOTE:  
Min 75mm exposed edge on floor slab to comply with AS 3660.1 for termite protection

NOTE:  
Lift off hinges to be installed on doors within 1200mm of closet pan

**INSPECTION BOOKING**

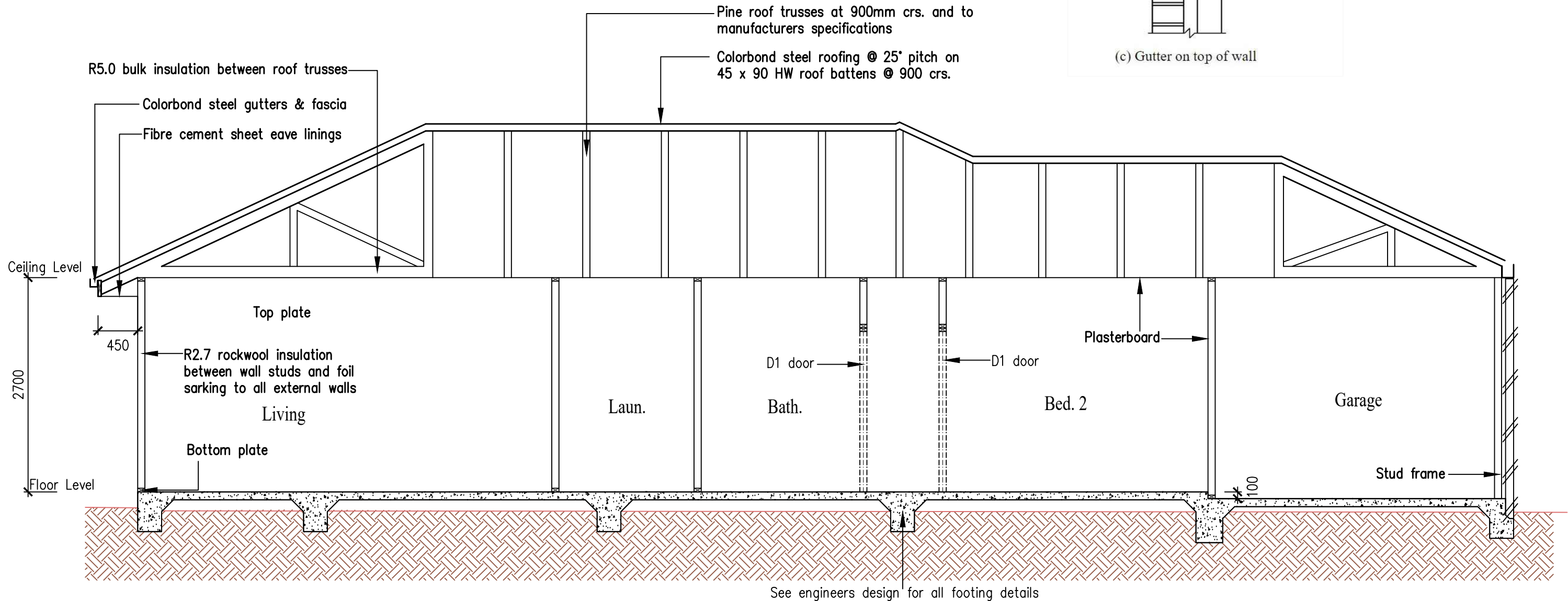
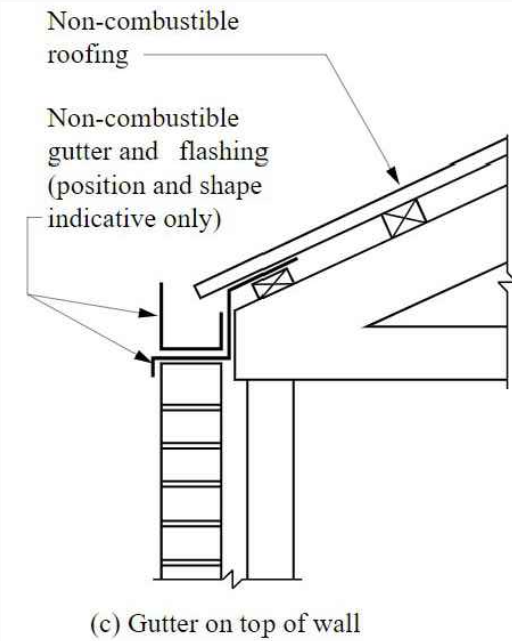
Provide P4 (wet surface) and P3 (dry surface) classification slip resistance to landing edge strip, nosing or tread surface in accordance with AS 4586  
MIN. 24 HOURS NOTICE REQUIRED

NOTE:  
All bathroom and toilets windows to be frosted glazing.  
All bathroom/ensuite windows to have Grade A safety glass if not 2m above floor level.

**BRICK LINTELS:**  
100 x 100 x 6mm L upto 2400 openings  
150 x 100 x 10mm L 2400 - 3000 openings

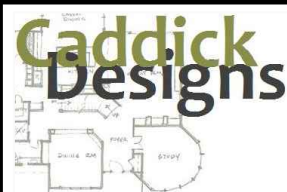
**WALL FRAMING:**  
Galv. angle iron wall & ply bracing  
2/35 x 90 MGP10 pine Top Plates  
45 x 90 MGP10 pine Bottom Plates  
35 x 70 F7 Noggins @ 1200 crs  
90 x 35 MGP10 pine Wall Stud @ 450 crs  
2/35 x 90 MGP10 pine Jamb Studs upto 3000 openings  
2/45 x 90 MGP10 pine Jamb Studs to 4000 openings

NCC 2019 Vol 1 - Figure 3.7.2.3  
Typical construction of external walls:



**Section D - D Unit 5**

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Gisborne VIC 3437  
Email - info@caddickdesigns.com.au  
BPB REG NO. DP-AD 2095

Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale - 1: 50  
Date - 14/10/2021  
Amnd - 18/7/2022  
Amnd - 10/10/2022

Project No. 1976B  
Sheet No. 24 of 25

**BUILDING PERMIT**

NOTE: Building Regulations 2018  
PERMIT NUMBER: 2103445468764 DATE ISSUED: 07/06/2023  
ARKI BUILDING SURVEYORS PTY LTD

Min. 75mm exposed edge on floor slab to comply with AS 3660.1 for termite protection

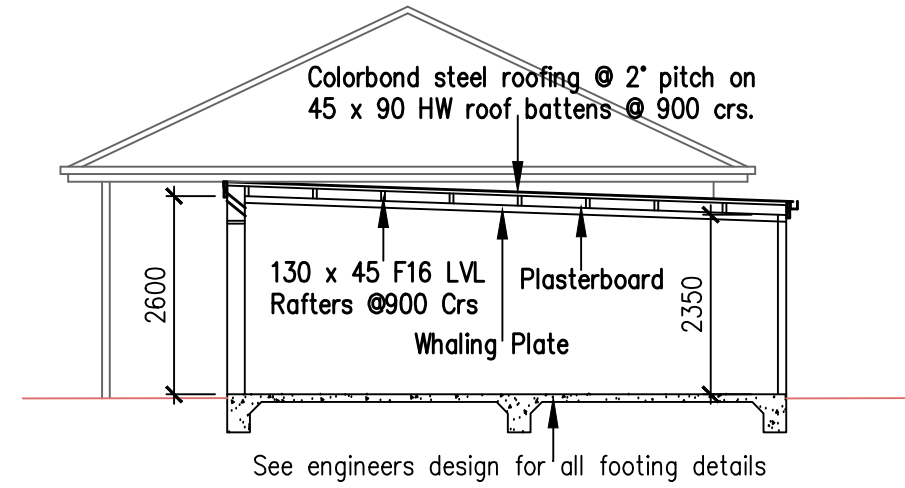
NOTE:  
Lift off hinges to be installed on doors within 1200mm of closet pan.

**INSPECTION BOOKING**

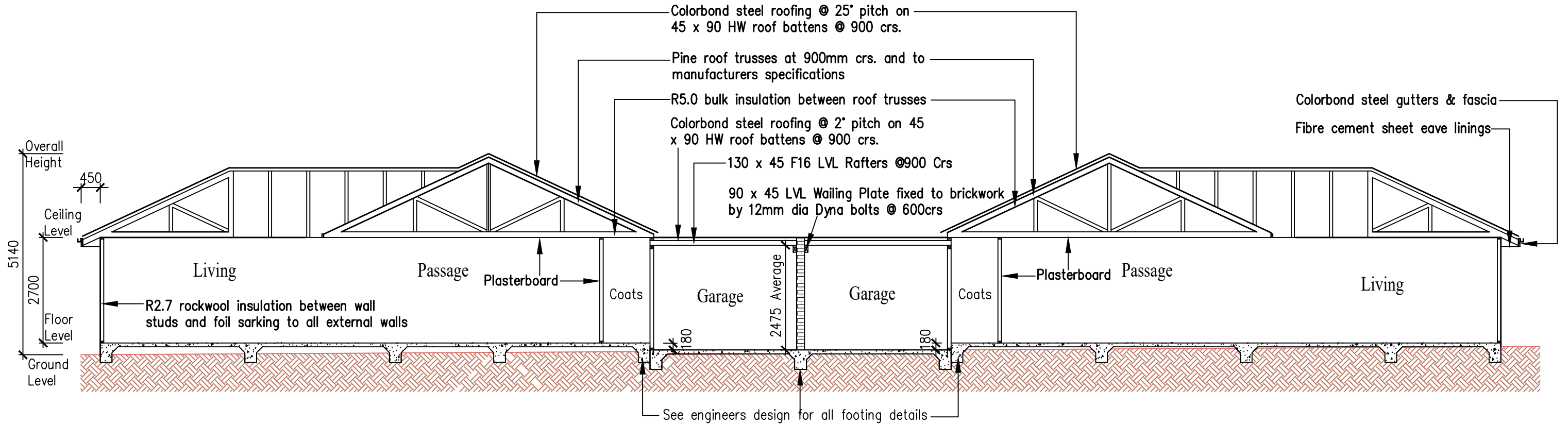
NOTE: EMAIL [inspections@arkiba.com.au](mailto:inspections@arkiba.com.au)  
All bathroom and toilets windows to be frosted glazing.  
All bathroom/ensuite windows to have Grade A safety glass if not 2m above floor level.

**BRICK LINTELS:**  
100 x 100 x 6mm L upto 2400 openings  
150 x 100 x 10mm L 2400 – 3000 openings

**WALL FRAMING:**  
Galv. angle iron wall & ply bracing  
2/35 x 90 MGP10 pine Top Plates  
45 x 90 MGP10 pine Bottom Plates  
35 x 70 F7 Noggins @ 1200 crs  
90 x 35 MGP10 pine Wall Stud @ 450 crs  
2/35 x 90 MGP10 pine Jamb Studs upto 3000 openings  
2/45 x 90 MGP10 pine Jamb Studs to 4000 openings

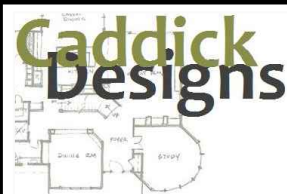


Section G - G Unit 9 & 10



Section E - E Unit 9 & 10

DO NOT SCALE FROM DRAWINGS.  
Written dimensions take preference. Drawings are to be read in conjunction with specifications and other subconsultants documents that relate to these drawings. This design and drawing is the property of Caddick Designs and copyright laws apply, drawings must not be used, copied or reproduced wholly or in part without written permission.



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Proposed Unit Development  
at 140-142 Main Road, Riddell's Creek.  
for Mr T. Culina.

Scale - 1: 100  
Date - 14/10/2021  
Amnd - 18/7/2022  
Amnd - 16/2/2023

Project No. 1976B  
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